

Architectural Heritage Impact Assessment

**Dan Breen House
Tipperary Town**

For Robin Lee Architecture

**Southgate Associates
November 2022**

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1. Overview and Context

Southgate Associates were engaged by Robin Lee Architecture to provide an Architectural Heritage Impact Assessment (AHIA) to assess the potential impacts of alterations and new development at Dan Breen House, associated outbuildings and modern former library additions.

As per the newspaper advertisement by Tipperary County Council, taken out to advertise the part 8 application at Dan Breen House, the Nature and Extent of the works encompassed by the part 8 application is as follows:

Nature and Extent of Proposed Development

Refurbishment and repurposing for training, educational and office use of the three storey Dan Breen House which sits centrally within the application site currently with an adjoining brick-built side extension. Works involve

- I. Refurbishment and minor alterations to the Protected Structure, Dan Breen House including installation of new windows and doors, building fabric upgrades for energy efficiency, building services installations, installation of a new lift which will access all floors, alteration of the current toilet layout and installation of new fully accessible toilets on the ground floor and first floor. The building has a gross internal area of 58m² on the lower ground floor, 189m² on the ground floor and 184m² on the upper floor giving a gross internal area of 431m².
- II. Refurbishment and repurposing for training and educational use of a single storey outbuilding of stone construction situated within a lower terrace area towards the southwestern boundary. Works involve installing roof structure and roof coverings, installing new windows and doors, building services installations and building fabric upgrades. The building has an internal area of 41m².
- III. Refurbishment and repurposing for training and educational use of a two-storey outbuilding situated along the western boundary. Works involve replacement roof structure and roof coverings, installing new windows and doors, building services installations and building fabric upgrades. The building has an internal area of 65m² on the ground floor and 67m² on the upper floor giving a gross internal area of 132m².
- IV. Demolition of the single storey former Tipperary Town Library, single storey store/canteen building to the north of the library and replacement with a new single storey extension for flexible use with an internal area of 245m².
- V. Demolition of the single storey red brick toilet block extension to the north of the two storey outbuilding at the rear of Dan Breen House and formation of a building services plant building situated along the north western boundary with a covered 'loggia' structure for outdoor activities, storage and cycle parking.
- VI. Development of a rear court yard surrounded by the new extension to the east, the new 'loggia' structure to the north, the existing two storey out building to the west and Dan Breen House to the south.
- VII. Construction of a new entrance hall that will link the existing Dan Breen House to the new extension and allow access to the rear court yard including construction of a new stepped arrangement for access to the lower level of Dan Breen House and the lower level single story outbuilding.
- VIII. Installation of photovoltaic solar panels to the flat roof of the new single storey plant building and 'loggia' structure to the north of Dan Breen House.
- IX. Landscaping enhancements throughout the site including installation of new edgings at junctions between hard and soft landscaping, asphalt surfacing to car park and access road, natural stone paving to the front of Dan Breen House, the new extension and the court yard along with installation of Nature Based Sustainable Urban Drainage Management systems to protect and enhance the existing mature trees and plants on site.

- X. Installation of low-level lighting to carpark, courtyard and walkways, up lighting to the mature trees, Dan Breen House and the buildings to the rear along with lighting within the columned frontages of the new extension and northern 'loggia' structure.
- XI. Provision of 10no. car parking spaces including 2no. accessible parking spaces in close proximity to the main building entrance, provision of EV charging points and short stay secure bicycle parking.
- XII. Development of a vehicle access security system at the vehicle entrance to the site.

This AHIA will accompany the aforementioned part 8 application. Dan Breen House is located on a gentle slope in a prominent position at the top of the north side of Tipperary town and the site includes the large surrounding grounds. Dan Breen House is a protected structure and as such everything within its curtilage, being the outbuildings and boundary wall, is considered to have the same level of protection. The building or any of the other structures within the site are not recorded on the National Inventory of Architectural Heritage (NIAH), they are not recorded monuments and are located outside of the Architectural Conservation Areas (ACA) found within Tipperary Town. Protection status is discussed in more detail in Section 2 of this report. The proposed alterations and additions to the historic structures are shown in full on the plans and elevations that also form part of the part 8 planning submission which this AHIA accompanies.

Note: The results, conclusions and recommendations contained within this report are based on information available at the time of its preparation. Whilst every effort has been made to ensure that all relevant data has been collated, Southgate Associates hold no responsibility for omissions and/or inconsistencies that may result from information becoming available subsequent to the report's completion. This report is informed by a visual inspection only and no opening up work was undertaken and as such we are therefore unable to state that any timber work or other parts of the structures which are hidden or otherwise unexposed are free from defect.

The aim of this report is as follows:

- To define the heritage elements of the Dan Breen buildings, site, and their setting.
- To define what makes these heritage elements significant.
- To present a strategy for incorporating the significant elements of the heritage setting into the proposed development while ensuring that what is significant about them is respected.
- To ensure that the proposed development is balanced in terms of heritage and sustainable development.

This report will set out the legislation that governs development in historically significant locations and will outline how the proposed alterations will be sensitively achieved within this legislation. Finally, the impact of the proposed development will be discussed. This document is informed by desk-

based research and by a site visit in November 2022, by Chris Southgate, Conservation Engineer, and James Byrne Archaeologist / Conservation Consultant.

In brief, based on the value of the overall heritage setting, we consider the historic elements of the Dan Breen Buildings and site as follows with Conservation, Intervention and New Development Zones set out below:

Conservation Strategy Overview:			
Historic element:	Conservation Zone:	Intervention Zone:	New Development:
Dan Breen House external elevation:	The external envelope will be conserved and repaired where necessary.	Minimum intervention to north gable wall to facilitate joining new build extension to existing Dan Breen House in the form of altered accessible door ope. Refurbishment of interiors to facilitate heating, light and fire upgrade. New fenestration scheme to match existing historic windows and to appropriate historic period design. New front door with panelled door, fanlight, and sidelights. Removal of ramp to front entrance, conservation, and exposure of limestone steps at entrance.	Adjoining new development designed as sympathetically as possible with neutral-coloured materials and height considerations so as not to hamper the view of the historic structures.
Dan Breen House Internal layout:	The conservation zone will focus on the interiors of Dan Breen House. Historic plasterwork, fireplaces, cornices, fixtures and fittings are to be retained in situ. Historic doors to be retained for use in non-fire stopping areas with panelled doors in fire stopping areas replaced on like for like basis, to provide an element of fire stopping. Main staircases to	The intervention zone will focus on Dan Breen House. The main intervention will be the inclusion of a small through and through lift to the rear room / west side of the building which will be installed with the minimum possible intervention to historic floors, partitions, and cornicing in one instance. Slight alterations to connecting ope from Dan	N/A

	be retained in situ. Layouts to be retained in general.	Breen House to new build extension. New floors on radon barriers to ground floor.	
Boundary walls:	Boundary walls to be conserved generally to conservation best practice, as surviving to the north and east sides of the site.	N/A	N/A
Two storey stable/out building external envelope	The external envelope will be conserved and repaired where necessary with the modern lean to at north gable to be removed.	Chimneys to be rebuilt, roof structure to be replaced on like for like basis. Glazed detail to be added in carriage door openers with existing doors fixed open. New historically appropriate fenestration to front elevation.	Visual impact of nearby new build to be kept as minimal as possible with neutral colours and low height to maximise the focus on existing historic structure.
Two storey stable/out building internal layout	Conservation zone to existing stable stall, possible reuse of existing historic ledged doors internally. Floor structure to be retained, conserved, and strengthened.	Alteration of floor structure in south side of building to facilitate a lift. Minimum intervention required. Refurbishment of interiors for heating and light upgrades. New floors on radon barriers.	N/A
One storey outbuilding external envelope	Conservation zone to external masonry. Conservation and repair to six over six timber sliding sash windows.	Replacement of roof structure on like for like basis. New doors on like for like basis to historically appropriate design.	Visual impact of nearby new build to be kept minimum as possible with neutral colours and low height to maximise focus on existing historic structure.
One storey outbuilding internal layout	Conservation zone to masonry partition wall.	Refurbishment of interior for heating, light and fire upgrade for use as workshop /storage. New floors on radon barriers.	N/A
Landscape of site	Conservation zone to boundary walls. Conservation of steps from higher level with two storey building to lower level at site of one storey out building.	Removal of hard landscaping such as large poor quality tarmac carpark. Removal of solid sharp planting beds, Installation of tarmac using natural sandstone aggregates with a slight pink texture	Possible careful planting and location of paths and planting to draw focus to historic elements rather than new build.

		which harmonises well with the landscape. Avoid black top. Edgings concealed. No kerbs. Minimum width. Pathways separate with sandstone gravel and hidden edgings. Planting of native Irish trees and herbaceous plants.	
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When considering the concept of new development in this location, our strategy has been strongly influenced by a heritage urban landscape (HUL) approach, looking at the historic elements on the Dan Breen site, as well as the broader urban heritage context especially considering its town centre location. Tipperary Town has been liaising with the Heritage Council-led collaborative town centre health check (CTCHC) to inform a collaborative heritage led regeneration scheme and approach to town centre development in historic town.

Policies for enhancing the landscape derived generally from the Tipperary County Council Development Plan 2022-2028 which can be applied to the approach for Dan Breen House.

- Maximise heritage assets on the site.
- Design for high quality vistas, both looking out from, and looking into the site.
- The site acts as a reactivation project for a large town centre site, and as a stimulus for a programme of heritage-led regeneration of assets within the wider Tipperary Town Centre landscape, thereby providing a catalyst for a collaborative placemaking process.
- Section 7.0 of the development plan puts a strong emphasis on 'place making' while also encouraging town centre revitalisation and regeneration. The redevelopment of the currently vacant and unused Dan Breen House and former library would return a town centre landmark building back into public usage and return a protected structure to sustainable reuse.

When assessing the impact of the proposed development, it is important to weigh the benefits against the downsides. The proposed alterations to the historic buildings and the new development would contribute to sustainable development and re-use of an existing vacant building in a town centre location. Indeed, the site is within the town centre zoned area (Tipperary Town & Environs Development Plan 2013-2019 Policy Maps-Lan use Zoning Map A) and is also located close to the centre of Tipperary town, and it is anticipated that the development will act as a catalyst for further town centre regeneration and revitalisation.

The proposed development would enable a positive, long-term, and sustainable end-use for three historic structures on site, Dan Breen House and the two outbuildings, which are to be conserved and repaired with relatively minor alterations. It is also proposed to remove the existing modern brick former library building and replace it with a modern glazed courtyard building, this will have a minor visual impact on the historic structures. However, given the central location, the opportunities for conservation and sustainable reuse both at this currently vacant building, and as a spark for further local regeneration, we feel that the gains far outweigh any negatives.


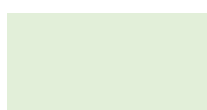
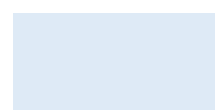
2. Protection Status

2.1 Architectural Heritage Protection and Significance

The Dan Breen House and site is located in the north area of the town centre of Tipperary Town. It is not located within an Architectural Conservation Area (ACA). None of the buildings on the site are recorded in the National Inventory of Architectural Heritage (NIAH). Similarly, although it is of historical interest, it does not contain any structures or remains included on the Record of Monuments and Places (RMPs) or on the Sites and Monuments Record (SMR). It is located outside the Zone of Archaeological potential (ZAP) of Tipperary Town centre. It is recorded on the record of protected structures (RPS) as RPS Ref 118 on the Tipperary Town & Environs Development Plan 2013-2019 and the Tipperary County Council Development Plan 2022-2028.

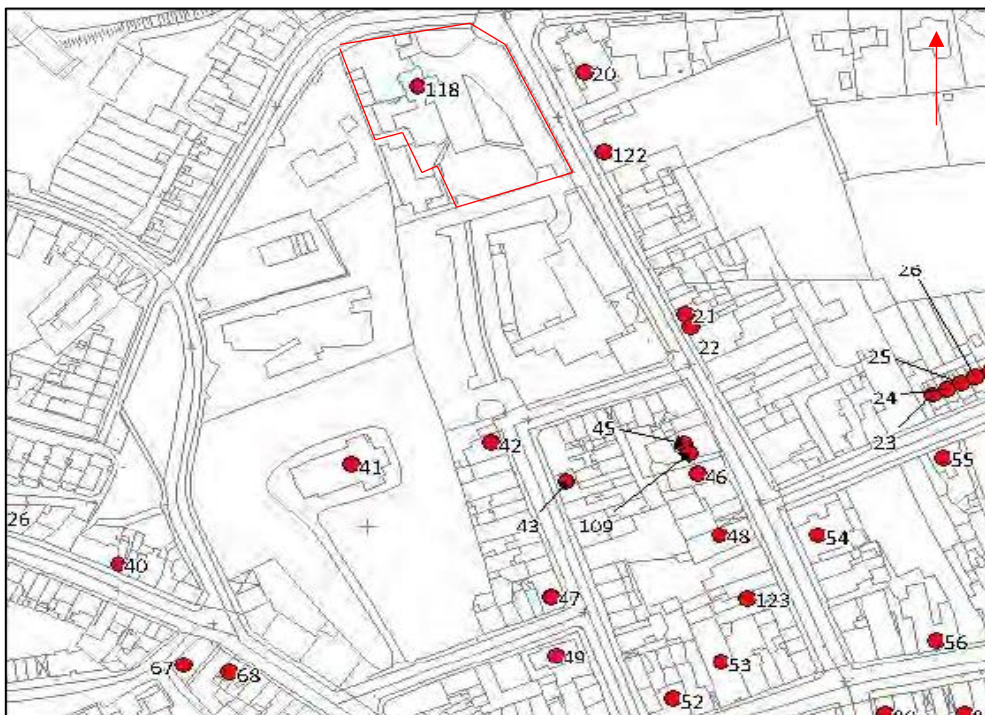
The historic buildings within/ adjacent to the site are as follows:

	Building/ structure:	Architectural Conservation Area:	Protected Structure:	NIAH No.	Significance rating:	Category of interest:	Location:
1.	Dan Breen House,	No	RPS Ref 118 (Tipperary Town & Environs Development Plan 2013-2019 / Tipperary County Council Development Plan 2022-2028)	No	N/A	N/A	Within site
2.	2No Original Outbuildings	No	Within Curtilage of RPS Ref 118	No	N/A	N/A	Within site
3.	Boundary walls to north and east sides of site	No	Within Curtilage of RPS Ref 118	No	N/A	N/A	Within site

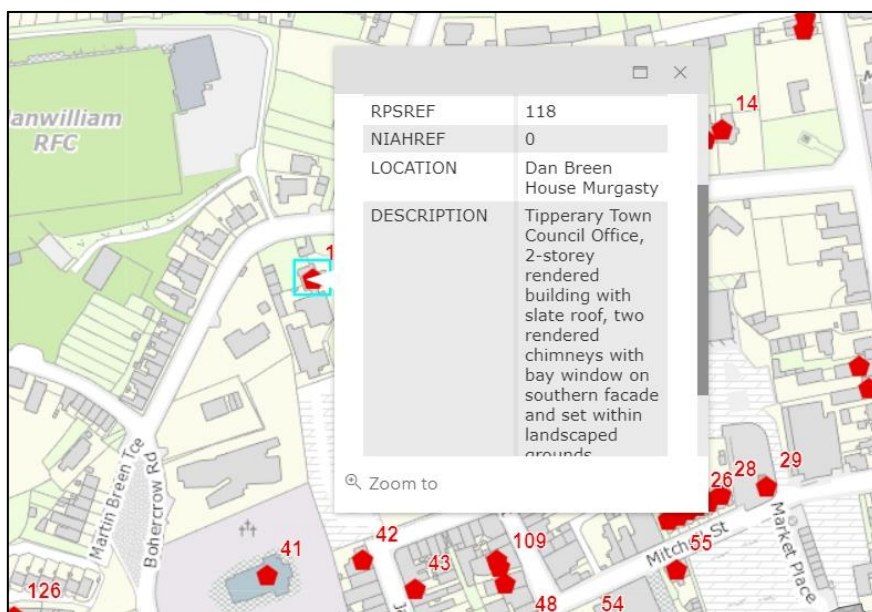
	To be conserved (outside site)		To be conserved (within site)		Carefully dismantle and salvage material for reuse and salvage yard
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118	Dan Breen House Murgasty	Tipperary Town Council Office, 2-storey rendered building with slate roof, two rendered chimneys with bay window on southern facade and set within landscaped grounds
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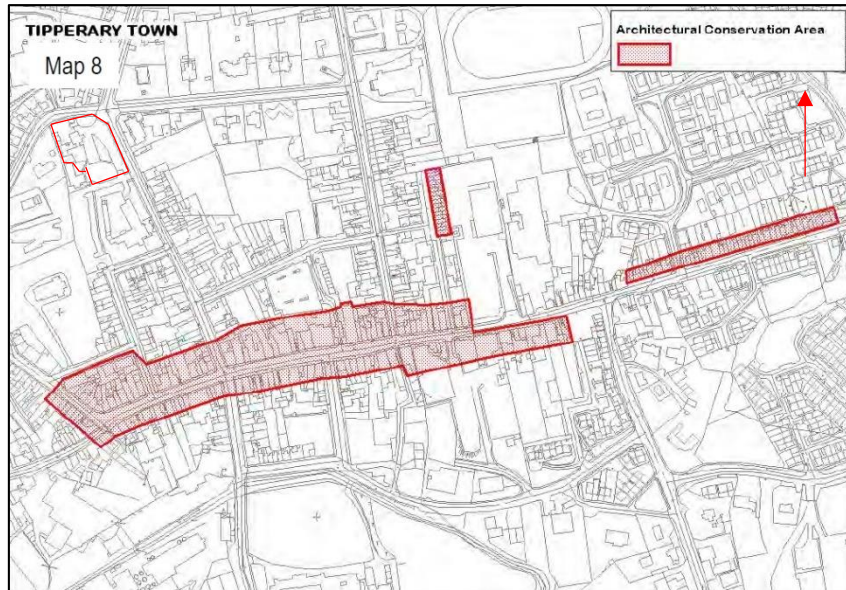
Record of Protected Structures Excerpt from Tipperary County Council Dev Plan 2022-2028 Maps



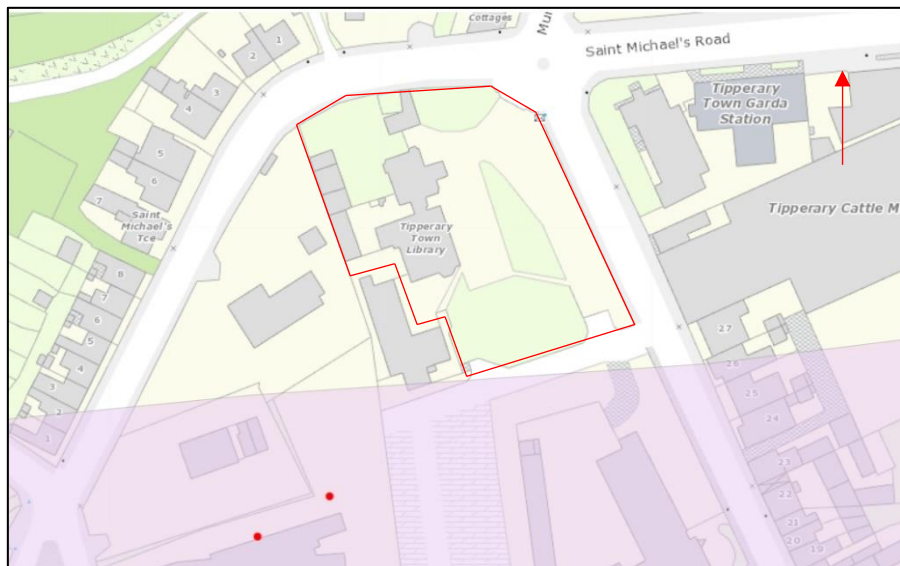
Excerpt from Map C1 Protected Structures in Tipperary Town & Environs Development Plan 2013-2019 Policy Maps. Note Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architect's drawings). Note also protected structure of Constabulary Barracks across road (RPS 20) the new development on the Dan Breen House site will be visible from the Barracks. Arrow denotes north.



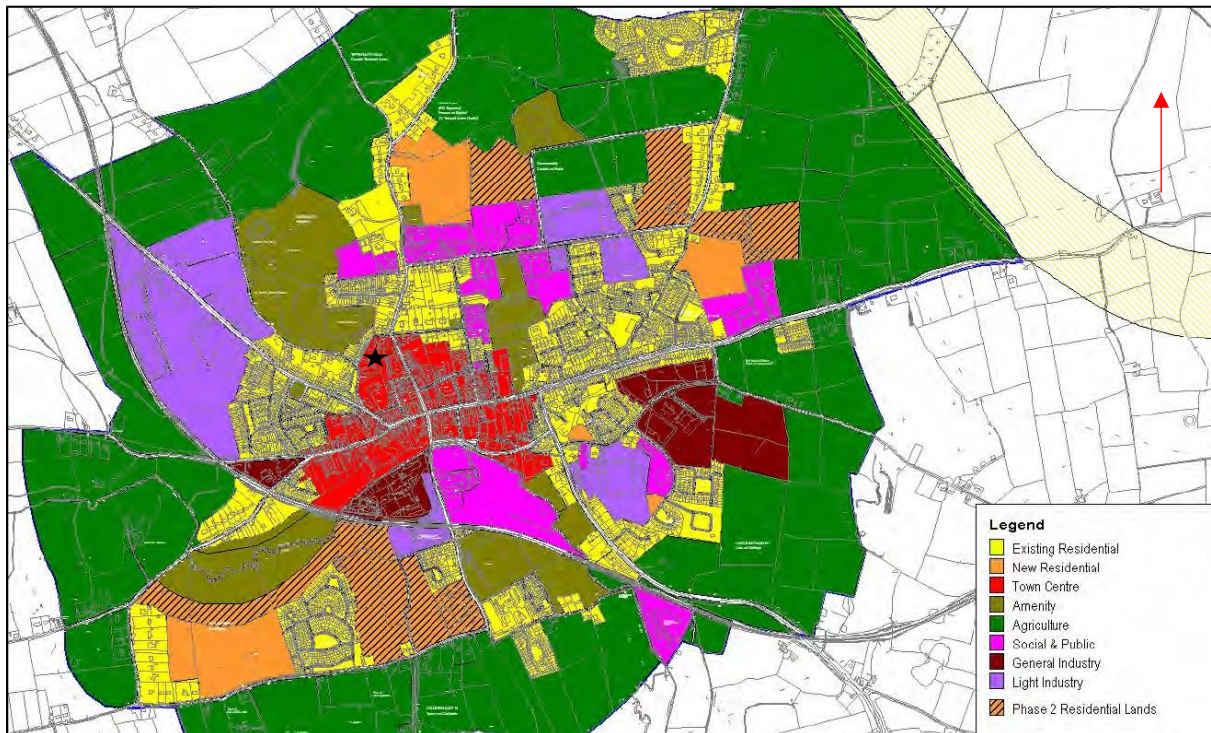
Excerpt from Tipperary County Council RPS Map viewer with entry for Dan Breen House shown (<https://tipp.maps.arcgis.com/apps/Embed/index.html?webmap=1325be53c91642b1a948fab4f2bd1d31>)



Excerpt from Map 8 of the Tipperary Town & Environs Development Plan 2013-2019 with ACAs noted. Dan Breen house is not located within an ACA and appears to be not visible from the any ACA. Note Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architect's drawings).



Excerpt from archaeology.ie mapping with shaded pink area denoting the Tipperary Town historic centre zone of archaeological potential. While Dan Breen House is not located within in th ZAP, it is nearby. (archaeology.ie) Note Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architect's drawings).



Excerpt from Land Use Zoning Map 1 in the Tipperary Town & Environs Development Plan 2013-2019 policy maps. Dan Breen House is marked with a star and found within the town centre zoned area.

2.1.1 Protected Structures on the site

Dan Breen House is recorded as RPS Ref 118 on the record of protected structures in both the Tipperary Town & Environs Development Plan 2013-2019 and the Tipperary County Council Development Plan 2022-2028. While not specifically mentioned in the entry, this protection applies to all structures located within the curtilage of the site which is extended to, and inclusive of the boundaries of the site. In this case this includes the main house, the two original outbuildings to the rear and the masonry boundary wall which survives to the northern and eastern sides of the site. Policies for protected structures are outlined in Tipperary Town & Environs Development Plan 2013-2019 Section 7.1: Architectural Heritage. It is also discussed in Vol.1, chapter 13.0 Built Heritage in the Tipperary County Council Development Plan 2022-2028. These policies will be discussed in section 4 of this report in further detail.

2.2 Significance; Threats to Significance

Briefly summarised, the elements of significance on the Dan Breen site are as follows:

- The main Dan Breen House, which is a protected structure of architectural and historical interest.
- The two outbuildings to the rear of Dan Breen House, which are of architectural and historical interest, fall within the curtilage of the protected structure and positively contribute to the character and significance of the site in general.
- The surviving sections of the boundary wall to the north and eastern sides of the site which are of architectural and historical interest, fall within the curtilage of the protected structure and positively contribute to the character and significance of the site in general.
- The intangible cultural heritage of the site, with various historical uses (see Section 3) and the potential to contribute to placemaking in the area.

The buildings and the site have been vacant for some time with sections of the yard and larger outbuildings the only buildings in use on the site by Tipperary County Council.

Consequently, the perceived threats and opportunities for the Dan Breen House and site are considered as follows:

Threats
<ul style="list-style-type: none"> • The opportunity for decay due to future water ingress if the main building continues to be vacant. • The possibility for encroaching development on the landscaped green areas of the site. • Declining condition of the smaller outbuilding due to the failure of the roof structure. • Declining condition of the larger outbuilding in growing need of conservation. • The negative public view of a vacant public building in a time of increased need for practical space for the public. • The proposed new build element of the project must not dominate the site or hinder in any unnecessarily negative way the views and appreciation of the protected structures, through the use of careful design principles.
Opportunities
<ul style="list-style-type: none"> • Reactivation of a vacant site and reuse of vacant buildings. • Heritage is a powerful place maker, and the site has a rich heritage landscape with place/building/naming opportunities. • Heritage giving a sense of belonging, and ownership to an improved public realm, which translates as better security for the site when complete, as people linger in the space. • Biodiversity and the reimagined design of the landscaped garden areas around the Dan Breen House contributing to place making and positive sentiment about the site. • Activation and regeneration of surrounding areas. • Return of practical training/storage and office space to public bodies.

2.3 Strategy Overview

The above assessment process has led to the following strategy overview, which will be developed in Sections 5 and 6 of this report and in detail in Appendix 2 and 3.

Location/Item:	Condition:	Protection Status:	Strategy:	Assessment of Impact:
External envelope Dan Breen House:	Reasonable; External structural repairs to bay window, refenestration of windows, underpinning and cill repair. Removal of wheelchair ramp and exposure of limestone entrance steps.	Recorded on RPS (Tipperary Town & Environs Development Plan 2013-2019 / Tipperary County Council Development Plan 2022-2028)	Conserve external envelope to best practice standards;	Heritage Gain
External envelope Original Outbuildings to rear of Dan Breen house:	Reasonable for larger outbuilding, requiring reroofing, rebuilding of chimneys refenestration, Poor for smaller outbuilding, requiring new roof structure, repair to sliding sashes, new doors.	Within curtilage of protected structure of Dan Breen House	Conserve to best practice standards to both; Removal of later lean-to addition to north gable of larger outbuilding	Heritage Gain
Internal layout of Dan Breen House:	Reasonable	Included in RPS (Tipperary Town & Environs Development Plan 2013-2019 / Tipperary County Council Development Plan 2022-2028)	Conserve internal historic fabric to conservation best practice standard, appropriate timber sliding sashes to windows, panelled door, and fanlight to front entrance. Upgrade for heating and a level of fire resistance. New lift to rear / west side of building. New ground floors to combat radon.	Minor loss/ localised loss of historic fabric in area of new lift; overall a heritage gain, when examined in context of end-use, accessibility and intact internal fabric to be conserved and repaired in Dan Breen House.
Internal layout of Two outbuildings:	Reasonable	Within curtilage of protected structure of Dan Breen House	Minimal legible alterations to ground floor and first floor layout to facilitate and maximise teaching space in both buildings, new lift to north end larger	Heritage Gain. Minor loss/ localised loss of historic fabric in area of new lift; overall a heritage gain, when examined in

			outbuilding, strengthening of floor, new roof structure to smaller building. Repairs to original stable stall. New floors to ground floors to combat radon.	context of end-use, accessibility and intact internal fabric to be conserved and repaired in the outbuildings.
Boundary walls to North and East sides of site.	Reasonable, alterations to east side to facilitate previous entrances and some sections appear rebuilt	Within curtilage of protected structure of Dan Breen House	Careful conservation of masonry to conservation best practice standard. Consider signage to describe the historic fabric at the site and encourage place making	Heritage Gain. Retention and conservation of the boundary walls maintains the historic footprint of the site and should contribute to the place making possibilities for the project.

3. Historic Overview and Context

Area: North side of Tipperary Town Centre on Davis Street, James Street Carpark and Tipperary Road.

Townland: Murgasty

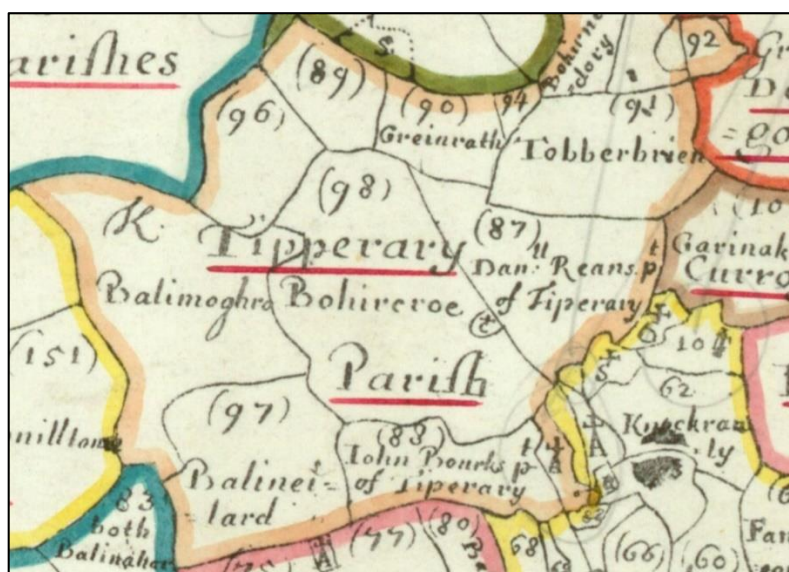
Dan Breen House and its wider site is located on the corner of Davis Street and Murgasty Road and bounded to the south by a public car park, on the north side of Tipperary Town centre. Tipperary Town itself developed as a centre of settlement around the 12th century when King John built a castle here, followed in the 13th century by an Augustinian Abbey. The area around Dan Breen House appears to have remained undeveloped at this time. Tipperary town in general continued to develop and was heavily established with planters from England during the 17th century. These planters influenced the development of the town and established centres of education in the town. (Lewis, S, 1837) From the 17th century onwards, the town was garrisoned by a British Military force but during the late 19th century a significant British Military Barracks was constructed remaining occupied up until 1922. Even with this military presence Tipperary was a centre of nationalist sentiment. From the 1920's onwards Tipperary Town continued to develop as a centre of minor industry and a transport hub between Limerick and the rest of Tipperary.

The first record of development on the site in question is found on the Ordnance Survey 6inch last edition map, noted as surveyed in 1841 (National Townland Map Viewer). The rectory appears complete at this time and it does not appear on the first edition of the 6inch mapping as surveyed in 1839 (National Townland Map Viewer giving a construction date between 1839-1841). However, importantly, the 6inch last edition map appears to have been revised to include some level of post-1901 detail with further development in the 6inch last edition than the 1901 25-inch map leaving some ambiguity as to the exact date of construction of the rectory. However, the available evidence and character of the historic fabric surviving in the building are in keeping with a mid-19th century date.

The rectory was built to accommodate the rector of the nearby St. Marys Church (noted as being constructed by 1835 (NIAH Reg. No. 22108041 / RPS 41)). The mapping evidence appears to show the development and expansion of housing terraces along Tipperary Road and northwards along Murgasty road between 1839-1841 and onwards into the turn of the 19th and 20th centuries. The Dan Breen House site is situated north of the medieval and historic centre of Tipperary Town and is found outside the edge of the Zone of Archaeological Potential for Tipperary Town as defined by the National Monuments Service (archaeology.ie).

While the records relating to the rectory appear to be sparse, the 1901 and 1911 census list a Rev. Denis Hannan as living at house no.1 in 1901 which appears to be Dan Breen House. Interestingly, they are the only Church of Ireland members living in the Murgasty townland as recorded on the 1901 census. The Reverend is recorded on the night of the survey (31st March 1901) as having his wife, two daughters, son, two domestic servants and a house guest in the house with him. The building is recorded in 1901 as having 6 outbuildings and the house as having 15 rooms. In 1911 on the night of the census, Denis Hannon (Then recorded as Archdeacon of Cashel D.D) is listed along with two domestic servants. The rectory is noted as house 18. It is recorded as having 16 rooms and as having 10 outbuildings. Those being 1 stable, 1 coach house, 1 cow house, 3 fowl houses, 1 turf house, 2 stores and 1 laundry. This gives the impression certainly of a large well serviced house.

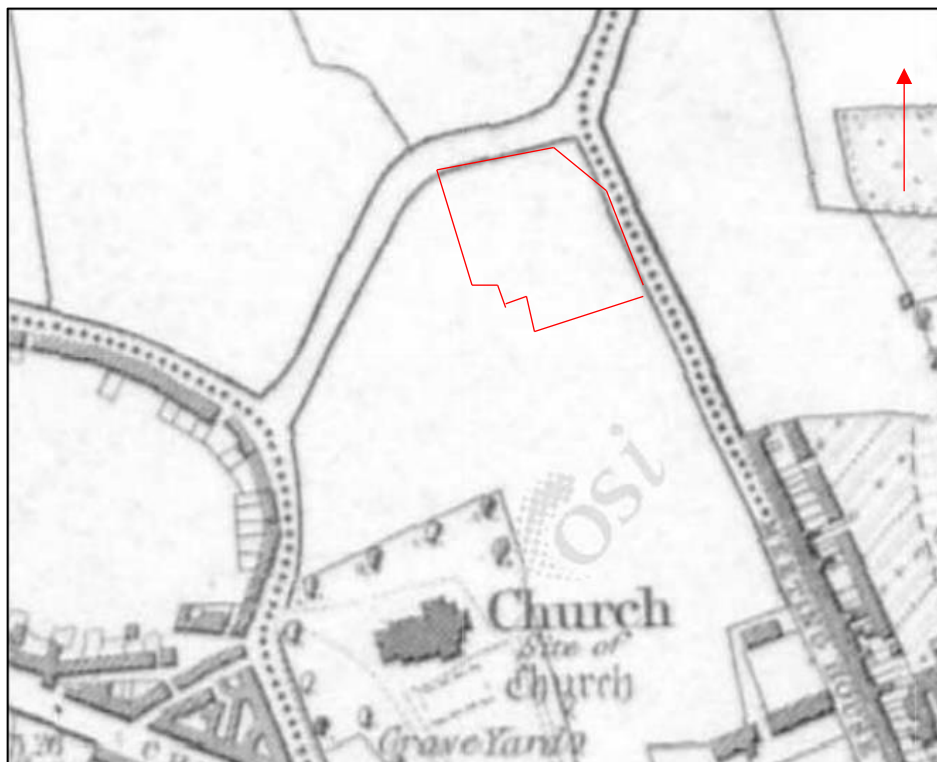
In a history leaflet for St. Marys Church (<https://cashelunion.ie/Docs/Tipperary%20Church%20Leaflet.pdf>) Rev Denis Hannan is noted as being the rector at St. Marys from 1883-1914 and in the same source a war memorial is noted for his son who died in WWI. This same son was noted as being 15 years of age in the 1901 census making him 28 at his time of death. It seems there are two opinions on the construction date of the Rectory, one being it was constructed in 1862 and the second that it was constructed in 1900. However, based on the mapping evidence and surviving historic fabric in the building a construction date of mid-19th century which would be consistent with the available evidence. Tipperary County Council notes the building was purchased from the church in 1972. Up until recent years it was in use as Tipperary County Council Offices and modern addition housed the town library. The larger outbuilding remains in use as a store for Tipperary County Council currently.



Excerpt from the Clanwilliam Barony map included in the Down Survey 1656-1658 with Tipperary Parish shown (downsurvey.tcd.ie)



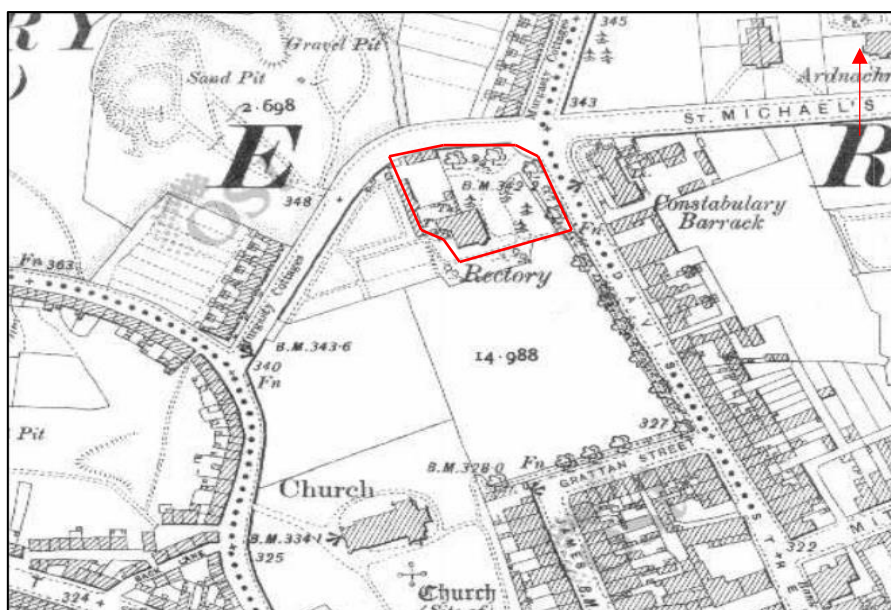
Excerpt from map 113 of the 1777 Taylor and Skinner Road map of Ireland with Tipperary Town shown. although the scale is large and not much detail is given it does appear Tipperary town is focused largely along the main street with little or no development to the north side of the town in the area of the future Dan Breen House (swilson.info)



Excerpt from the 1st Edition 6inch Ordnance Survey map. Surveyed 1839 published 1843. The Rectory and the neighbouring terraces and buildings are not noted. However, note St. Marys Church of Ireland has been constructed at this time (<https://osi.maps.arcgis.com/apps/webappviewer/index.html?id=bc56a1cf08844a2aa2609aa92e89497e>) Arrow denotes north. Note approximate Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architect's drawings).



Excerpt from the last edition 6inch Ordnance Survey map. Surveyed 1841, published 1956. This would suggest a period of concerted development from 1839 onwards in the area north of Tipperary Road and St. Michaels Road with the construction of the Rectory and its outbuildings, several housing terraces, and the large police barracks across the road from Dan Breen House. (These map dates are based on the grid sheet dates available on the National Townland Map Viewer (<https://osi.maps.arcgis.com/apps/webappviewer/index.html?id=bc56a1cf08844a2aa2609aa92e89497e>)) However, it appears there may be a level of inconsistency in the mapping dating as the level of development in this area appears to be more intense than the below 1901 surveyed 25inch OSI map. (The police barracks across the road from Dan Breen House noted on the NIAH as being built c.1875 which means this map segment has been updated post 1875 as the police barracks is constructed) This makes it slightly harder to tie down a date of construction of the rectory but again the available evidence and character of historic fabric suggests a date on mid-19th century.) Note approximate Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architects drawings).



Excerpt from the 25-inch Ordnance Survey map surveyed 1901. The rectory is recorded in some detail with landscaped gardens front and rear and a collection of outbuildings noted, as detailed in the 1911 census. Unusually, there appears to be more development on the 6inch last edition mapping (noted as surveyed 1841 and published 1956) than on the 25inch map which was generally surveyed and published after the last edition of the 6inch mapping. (<https://osi.maps.arcgis.com/apps/webappviewer/index.html?id=bc56a1cf08844a2aa2609aa92e89497e>) Note approximate Dan Breen House site boundary in red (Note: this is illustrative only and the official, measured red line boundary is noted in accompanying architect's drawings).

CENSUS OF IRELAND, 1901.											
(Two Examples of the mode of filling up this Table are given on the other side.)											
FORM A.											
No. on Form B. /											
RETURN of the MEMBERS of this FAMILY and their VISITORS, BOARDERS, SERVANTS, &c., who slept or abode in this House on the night of SUNDAY, the 31st of MARCH, 1901.											
NAME and SURNAME.	RELATION to Head of Family.	RELIGIOUS PROFESSION.	EDUCATION.	AGE.	SEX.	RANK, PROFESSION, OR OCCUPATION.	MARRIAGE.	WHERE BORN.	IRISH LANGUAGE.	If Deaf and Dumb; Blind only; or Lame.	If Deaf and Dumb; Blind only; or Lame.
1.	2.	3.	4.	5.	6.	7.	8.	9.	10.	11.	12.
Charles Hannon	Head of Family	Church of Ireland	Read & write	61	M	Minister of the Gospel, Rector	Married	Co. Waterford			
Louisa Hannon	Wife	Church of Ireland	Read & write	54	F		Married	King's Co.			
Emily Hannon	Daughter	Church of Ireland	Read & write	27	F		Not married	Co. Wicklow			
Marion Hannon	Daughter	Church of Ireland	Read & write	21	F		Not married	Co. Waterford			
Charles Hannon	Son	Church of Ireland	Read & write	15	M	Scholar	Not married	Co. Wicklow			
Charles McClelland	Visitor	Church of Ireland	Read & write	37	F	Teacher	Not married	Waterford			
Archie Doyle	Domestic Servant	Roman Catholic	Cannot read	50	F	Domestic Servant	Widow	Co. Tipperary			
Molly Hayden	Domestic Servant	Roman Catholic	Read & write	20	F	Domestic Servant	Not married	Co. Tipperary			

Excerpt from 1901 census of house No.1 (Understood to be Dan Breen House) with Dennis Hannon listed as Rector. It is a significant household with two domestic servants noted. His son Charles noted as being 15 here, later recorded as having died in WW1. (<http://www.census.nationalarchives.ie/>)

CENSUS OF IRELAND, 1911.
Two Examples of the mode of filling up this Table are given on the other side.

FORM A.

No. on Form B. *18*

RETURN of the MEMBERS of this FAMILY and their VISITORS, BOARDERS, SERVANTS, &c., who slept or abode in this House on the night of SUNDAY, the 2nd of APRIL, 1911.

Number.	NAME AND SURNAME.		RELATION to Head of Family.	RELIGIOUS PROFESSION.	EDUCATION.	AGE (last Birthday) and SEX.		RANK, PROFESSION, OR OCCUPATION.	PARTICULARS AS TO MARRIAGE.				WHERE BORN.	IRISH LANGUAGE.	If Deaf and Dumb; Blind; Insane; or Lunatic.
	Christian Name.	Surname.				Insert Age opposite each name:—The Age of Males in column 6, and the Age of Females in column 7.	Whether "Married," "Widowed," "Single," or "Engaged."		Completed years the present Marriage has lasted. If less than one year, write "under one year."	Children born alive to present Marriage. If no children born alive, write "None."	Total Children born alive.	Children still living.			
	1.	2.	3.	4.	5.	6.	7.	8.	9.	10.	11.	12.	13.	14.	15.
1	Denis	Hannon	Head of Family	Church of Ireland	Read and Write	71		Archdeacon of Cashel D.D.	Married				Cashel		
2	Ann	Hannon	Wife	Roman Catholic	Read and Write	22		Cook	Single				Cashel		
3	Mary	Hannon	Servant	Roman Catholic	Read and Write	25		Nurse, Dublin	Single				Cashel		
4															
5															
6															
7															
8															
9															
10															
11															
12															
13															
14															
15															

I hereby certify, as required by the Act 10 Edw. VII, and 1 Geo. V., cap. 11, that the foregoing Return is correct, according to the best of my knowledge and belief.

I believe the foregoing to be a true Return.

Constable Daniel Roche, Signature of Enumerator.

Denis Hannon D.D., Signature of Head of Family.

Excerpt from the 1911 census with a Denis Hannon noted as Archdeacon of Cashel D.D at house no.18 (Understood to be Dan Breen House) He is one of the only Church of Ireland members noted in the townland at the time. (<http://www.census.nationalarchives.ie/>)

Here in St Mary's Church we have two memorials to the soldiers of "The Great War" (1914-1918).

At the rear of the Church is a brass plaque which is The Abbey Grammar School War Memorial.

The War Memorial to The Abbey Boys is dedicated to the memory of thirty-nine of its former pupils who died serving in the uniformed military services during The First World War. It also has the school crest and the date 1660. One name listed is that of the son of The Reverend Denis Hanan, who was Rector of St. Mary's Church from 1883-1914

The inscribed dedication on the abbey grammar school war memorial reads:

"To the glory of god and in proud and grateful memory of the old abbey boys who gave their lives in the Great War."

Excerpt from information leaflet on St. Marys Church which Dan Breen House was the rectory for, noting Denis Hannon as the rector 1883-1914. (<https://cashelunion.ie/Docs/Tipperary%20Church%20Leaflet.pdf>)

A feature of this under-developed area of Tipperary town was the number of members of the RIC; five serving and two retired policemen had their homes in Murgasty. Three were from Limerick, two from Wexford and one each from Cavan and Kerry. The two first class premises were the Church of Ireland rectory and the Christian Brothers monastery.

The rector was the Rev. Dr. Denis Hanan, aged 61 and a native of Waterford. On the night of the census, his household consisted of his wife, two daughters in their twenties, a 15-year-old son, a female visitor and two female domestics (incidentally, both Catholics). In the old fever

Excerpt from a discussion on the results of the 1901 census in Tipperary Town with a brief note on the rectory (Dan Breen House) (Marnane.D. G, Tipperary Town One Hundred Years ago: The evidence of the 1901 census, 2001, Tipperary Studies.ie)



Excerpt from modern aerial imagery of Dan Breen House to show its current layout and setting generally (archaeology.ie)
Note in red outline of Dan Breen House Site (This is for illustrative purposes only see accompanying architects drawing for official, measured red line boundary)

4. Outline Description of Historic Structures on Site

The Dan Breen house site contains a mixture of historic and modern structures dating from the mid-19th century to the modern day. The historic structures and significances can be divided into three sections:

- The main Dan Breen House, with historic fabric coherent with a mid-19th century date surviving internally and externally.
- Two masonry outbuildings to rear of Dan Breen House with historic fabric coherent with a mid-19th century date surviving internally and externally.
- The surviving sections of boundary wall to the north/northwest and east of the site.

The main Dan Breen House and two outbuildings appear to be contemporary, and the evidence suggests they date to the mid-19th century. The main house is two storey (split storey to NW corner only) with double pitched roof, three bay elevation to front (east) elevation, four bay elevation to side(north) elevation, three bay elevation to rear (west) and two bay elevation to south elevation. The building has a sand and cement render on a limestone plinth with aluminium windows to front and south elevation with timber sliding sash windows in various configurations to the north and rear elevation. The outbuildings are one storey and two storey constructed in a mixture of coursed and uncoursed rubble limestone masonry with brick window lintols. The one-storey out building retains six over six timber sliding sashes in poor condition. The two-storey building retains historic floor structure, internal stable partition, ledged doors, and circular window louvres and has a chimney at each gable. The main Dan Breen House retains a large amount of historic fabric with ground floor having panelled doors, cornices, ceiling roses, original fireplaces, skirting and other fittings such as built-in storage and safes which may be slightly later installations. The basement similar retains panelled doors, staircase, sash windows and skirting. The first floor includes similar historic fabric. The main staircase runs from the ground floor lobby to the first floor with a second staircase running from ground floor to basement and a third staircase running from first to second in one corner of the NW of the building.

The surviving boundary wall sections to the N/ NW of the site and the E of the site are constructed in a generally uncoursed limestone rubble masonry on a slightly battered base. Sections of the East wall appear to have been rebuilt in a coursed limestone masonry likely by Tipperary County Council. However, the high original boundary wall to the N/NW of the site appears original and is constructed of limestone rubble masonry. The original sections of boundary wall may date from the late-18th

century to mid-19th century and may originally have enclosed the landholding of the nearby St. Marys Church and, or, follow a line of medieval land boundary related to the medieval church found on the site of the existing St. Marys Church.

A survey of these elements, including annotated photographs, can be found in Appendix 1. The structures of architectural heritage on the Dan Breen site have been broken down as follows, based on what remains, what condition it is in and how much of it is intact:

Element of architectural heritage:	Condition:	Integrity:
Dan Breen House:	Good	All original fireplaces survive, original joinery in form of skirting, panelled doors, built in storage and window surrounds survive. Modern aluminium windows to south and front elevation, Surviving original sash windows in various configurations to north and rear elevation. Plasterwork surviving to ground floor with cornices and ceiling roses. Original roof structure existing with some remains of lime parging intact. Previous connection to former library in place.
Boundary Walls:	Good height and original condition surviving to N/NW side of site. Good condition but appearing heavily altered in modernity section to E of site.	Defines site on remaining sides well. N/NW section may predate the Dan Breen house in sections. E section provides good boundary and good quality modern stonework in sections. Lower level to east side provides good view to and from Dan Breen House.
Two Storey Outbuilding	Reasonable	External envelope in reasonable condition. Requiring reroofing. Chimney require rebuilding to gables. Modern addition to north gable. Some reversible subdivision

		internally, ground floor and modern kitchen added to ground floor north end. Surviving, apparently original floor structure to first floor be retained and strengthened. Ground floor stable subdivision to be retained and conserved. Surviving possible original louvres to circular ope first floor.
One storey outbuilding	Poor	Original masonry in reasonable condition. Roof failed requiring full replacement. Six over six original sash windows requiring refurbishment. Existing poor ledged door requiring replacement. Some modern workshop fitting in poor condition.

The above synthesis identifies the areas of the most intact historic fabric in good condition to be in the main Dan Breen House, which will be the focus of some interventions as well as conservation and repair works. Dan Breen House will therefore be the focus of the conservation gain resulting from the proposed development however the outbuildings will also benefit from a level of conservation to return them to usable condition. The modern additions to be dismantled will add to the conservation gain on the project in keeping with Policy Recommendation 2; with conservation and retention of boundary walls forming a positive impact also.

5. Conservation Policy and Conservation Strategy

Section 5 of this report aims to set out the relevant national and international policy and guidelines that govern historic structures and their settings and changes and alterations to them. It also outlines the basis of approach adopted when addressing the proposed changes at the Dan Breen House and its site within this context and in accordance with best practice conservation standards.

5.1 Tipperary County Council Development Plan (TCCDP), 2022-2028

The Record of Protected Structures

Dan Breen House is a protected structure and any structures within its curtilage, within and including its site boundary walls are therefore also considered to have a similar level of protection, and as such the following policies and objectives from Volume 1 of the TCCDP 2022-2028 are relevant:

The TCCDP Notes as follows:

Vol 1, 13.4 Record of Protected Structures

The RPS for the county is addressed in Volume 4 Built Heritage. Buildings or structures included in the RPS may have particular importance in terms of special architectural, historical, archaeological, artistic, cultural, scientific, social, or technical interest, as set out in the Architectural Heritage Protection Guidelines for Planning Authorities' (DAHG, 2011).

Works which would materially alter the character of a protected structure, or any element thereof, which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest requires planning permission. Owners and occupiers intending to carry out works to a protected structure may seek a declaration under Section 57 of the Planning Act, to identify what types of work can be carried out without materially affecting the character of the structure, and hence not require planning permission. Applicants proposing to carry out works to a protected structure are advised to seek the advice of a conservation professional at an early stage.

New development that may impact on structures on the RPS shall have regard to the Architectural Heritage Protection Guidelines for Planning Authorities' (DAHG, 2011). The Council, having regard to the nature and scope of works may require the submission of an Architectural Impact Assessment and method statements to facilitate the assessment of the development.

Policy Recommendation 1: In order to minimise new development that may impact on structures on the RPS : Respect recommended buildings heights for the new build aspect of the project; design in context, reflecting the variety in height, texture and material of the surrounding historic buildings; design with a low height and neutral coloured focus on the project in order to not dominate a setting; respect the spacing, proportions and orientation of the existing historic elements and allow space between new and old elements of the site, to avoid dominance.

The TCCDP also notes:

13.9 Planning Policy

It is the policy of the Council to:

13 - 1 Encourage and support the sympathetic restoration, re-use and maintenance of protected structures thereby ensuring their conservation and protection. In considering proposals for development, the Council will have regard to the Architectural Heritage Protection Guidelines for Planning Authorities, (DAHG 2011) or any amendment thereof, and proposals that will have an unacceptable impact on the character and integrity of a protected structure or adjoining protected structure will not be permitted.

13 - 3 Seek the sympathetic restoration, appropriate re-use and maintenance of buildings/features which are considered to be of local and vernacular architectural importance.

13.10 Planning Objectives

It is the objective of the Council to:

13 - A Support the owners of structures on the RPS and structures in ACAs through educational and information actions to assist in the conservation and active use of built heritage.

Policy Recommendation 2: Sympathetic and sustainable re-use of the Dan Breen House and wider site will ensure the buildings conservation and protection. The new development, although a new addition to the site, enhances the usage and wider re-use of the historical of the site and can be seen as facilitating the conservation and sustainable re-use of the historic elements on site.

5.1.2 Tipperary Town & Environs Development Plan 2013-2019

The policy for protection of structures in Tipperary Town is included in the Tipperary Town & Environs Development Plan 2013-2019 in Section 7.1: Architectural Heritage. Policies are set out in the development plan to ensure the protection of the town's-built heritage. The Record of Protected Structures contains buildings that the Town Council considers to be of architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

The TTEDP notes:

Policy AH1: It is the policy of the Council to conserve and protect buildings, structures and sites contained in the Record of Protected Structures that are of special interest and to ensure any development is appropriate and sensitively undertaken. In assessing development proposals, the Council will, where applicable, have regard to the Architectural Heritage Protection Guidelines for Planning Authorities and any relevant Conservation and Management Plans. The Council will proactively work with developers/applicants to facilitate the appropriate reuse/redevelopment of Protected Structures. The Planning Authority will resist.

- (a) Demolition of protected structures, in whole or part,
- (b) Removal or modification of features of architectural importance,
- (c) Development that would adversely affect the setting of a protected structure.

These protections were put in place in answer to guidelines set out in Architectural Heritage protection, Guidelines for Planning authorities 2004 which itself relates to Part IV of the Planning and Development Act 2000

Policy Recommendation 3: In keeping with Tipperary Town & Environs development plan the new development aspects of the proposal at Dan Breen House must be appropriate and sensitively undertaken. Modern additions to existing historic fabric on the larger outbuilding are to be dismantled to facilitate a return to the appropriate historic finish of the building. Alterations internally to the Dan Breen House to facilitate the installation of a lift must be kept to an absolute

minimum and carried out to best practice standard when required. New development must not adversely affect the setting of a protected structure.

5.2 ICOMOS

The International Council on Monuments and Sites works for the conservation and protection of places of cultural heritage significance and has been involved in standard setting since 1964. Among the Charters adopted by ICOMOS, of particular relevance to the Dan Breen House and site are the Washington Charter and their policies

5.2.1 The Washington Charter, 1987

The Washington Charter provides a set of guiding principles for the conservation of historic towns and urban areas. Objective 2 is relevant to the Dan Breen House site.

Qualities to be preserved include the historic character of the town or urban area and all those material and spiritual elements that express this character, especially:

- a) Urban patterns as defined by lots and streets.
- b) Relationships between buildings and green and open spaces.
- c) The formal appearance, interior and exterior, of buildings as defined by scale, size, style, construction, materials, colour, and decoration.
- d) The relationship between the town or urban area and its surrounding setting, both natural and man-made; and
- e) The various functions that the town or urban area has acquired over time.

Policy Recommendation 4: The spatial arrangement of the buildings on the site should remain broadly the same; the site should be designed to ultimately function as one unit/ lot, as previously. The scale, massing, style and size should relate to the setting and the relationship between buildings and green spaces should be maximised. The new development element of the proposal must not overshadow and impose on Dan Breen House or either of the outbuildings.

5.2.2 The Heritage Urban Landscape (HUL) Approach

The 2011 UNESCO Recommendation on the Historic Urban Landscape (HUL) approach is considered particularly relevant to the Dan Breen House and site, bearing in mind the significance of the surrounding historic landscape and the site prominent town centre location.

The Historic Urban Landscape (HUL) approach to the Dan Breen site can be understood as being concerned with:

- Maintaining a sense of local belonging to place.
- A sense of reducing the alienation of people to a landscape which is in danger of becoming increasingly homogenous and repetitive.
- Looking at spaces and places through a more holistic lens, where heritage resources are never discrete entities, but rather sit in relation to a landscape more generally, in its natural and cultural specificity.
- Promoting places which are alive with human culture and creativity, and good for people to live in.
- Promoting a sense of belonging and inclusion and holding a local sense of identity, rooted in the past.

Therefore, it is a much more dynamic and creative approach to heritage conservation, one which promotes heritage conservation as part of a sustainable approach to development in dynamic cities and towns, and not as the mere preservation of a fossilised and dead history for the sake of it.

In terms of practical analysis, this can be achieved by **looking in** to assess the site, its function and fabric; **looking out** to assess the wider context, both architecturally and economically and in terms of location; and **looking back** to assess former functions, fabric, myths and nomenclature. This approach is intended to aid designers to look forward and plan a sustainable, enduring and familiar development that will positively contribute to its setting by:

- Maximizing heritage value, by incorporating structures sensitively, legibly and in a functional way.
- Investing in heritage and culture to benefit the wider scope of the development, from public realm, to traffic, to leisure, to outward connection within the setting.
- Understanding that nothing exists in isolation and that there will be a heritage context of some description. By connecting to the dialogue already in place between other heritage buildings, or uses, or a past common function will deliver a sustainable, usable and connected development, which feels like it was always there, whether it presents as a modern or classical design.

Policy Recommendation 5: Maximise heritage assets on the site, by conserving, repairing and adapting Dan Breen House and its outbuildings as a key public space in the scheme; Reflect heritage assets outside site in the use of materials and massing; Design for high quality vistas, both looking out from, and looking into the site and focusing on the wider landscape of the site as a positive and heritage based landscape and green open space.

5.3 Conservation Strategy and Mitigations

The conservation strategy has already been broadly set out in Section 2.3 and is developed more specifically and with technical detail on a building by building and internal and external basis in Appendix 3. An educational use in the form of a Tipperary youth and further training education centre for the main Dan Breen House and the outbuildings has been identified as a practical and sustainable reuse of the buildings and also requiring of minimal internal adaptation and intervention to the historic fabric of the protected structures. In order to meet the functional and accessible needs of a training centre, some interventions are proposed, the main physical intervention to the historic fabric being the installation of lift to the rear/central room of the west side area of Dan Breen house from basement to first floor level and the north end of the larger outbuilding. The internal layouts of the Dan Breen House, apart from the lift intervention, some alteration of the ope connecting Dan Breen House to the new build development and the opening of the rear wall of the lean-to addition to the rear of Dan Breen House, are envisaged to be largely unchanged with retention of historic fabric and conservation and repair to original fittings and fixtures on a like for like basis. The building will need a level of upgrade to facilitate heating, new ground floors with radon protection, fire upgrades and conservation to existing joinery.

The conservation strategy for the external envelope is; in brief, windows will be conserved and repaired where they exist; Restored on a like for like basis with the surviving shutters or similarly proportioned windows, or with the section of that window that survives. Roof to be reslated on like for like basis. Bay window underpinned. Land drainage to external base of walls. Internal joinery associated with the windows will also be conserved and repaired or restored on a like for like basis where it is missing. Cornices and ceiling roses to be conserved and retained. Skirting and other joinery to be conserved and retained. Doors to be replaced on a like for like basis with panelled doors including fire stopping elements to be installed to match existing. Existing doors to be salvaged for use in non-fire stopping areas such as bathrooms.

Main interventions

Lift

The main intervention in Dan Breen House will be the installation of a through and through lift in the rear / central room in the ground floor lobby which will run from basement to first floor. This will require intervention to the existing floors in the immediate area of the lift and to dado rail and skirting and floor in Room 9 as well as alteration to the existing walls of this room and adjoining to north. (See Appendix 3 Drawings with marked up room refs- Room 9-10 Ground Floor, Room 20-23 First Floor and Room 5 Basement). Historic fabric requiring to be removed in order to facilitate the lift installation should be retained for reuse in repairing other elements of historic fabric elsewhere in the building. Lift should be built against new partition in room 9. While the installation of the lift does physically alter the building, its impact will be kept as minimal as possible and by making the building accessible it facilitates the sustainable revitalisation and conservation of the building. **See Architects drawings accompanying the part 8 planning application for locational detail on the lift installation.**

Opening of rear wall

Opening of rear wall of lean to at basement level rear of Dan Breen house. This will involve removal of historic masonry and one timber sliding sash window. This window should be retained and may be used in an existing ope elsewhere to conservation engineers' recommendation. The historic masonry may be retained for possible use in the landscape.

Ope alterations

Alteration to opes in the ground floor north elevation of Dan Breen house for access to the new build development are considered a minor intervention and a development win as they will allow Dan Breen House to become accessible and therefore further facilitating sustainable development of the building.

All interventions are shown on architect's drawings included with the part 8 planning submission. General recommendations and approaches for interiors and exteriors as well as for interventions are outlined below with further information on the architect's drawings accompanying the part 8 planning submission. **More detailed recommendations are set out in Appendix 2, SKA and B and in further technical detail in Appendix 3. The impact of these interventions will be assessed in Section 6.**

6. Assessment of Impact

6.1 Classification of Impacts

Assessment of impact is informed by the Environmental Impact Assessment Reports Guidelines, 2022, EPA and shown in the table below. Impacts are generally categorised as either being direct, indirect, or as having no predicted impact, and are described in detail below. The impact categories are assessed further in terms of the quality of the impact, which in terms of architectural heritage is generally deemed to be negative, neutral, or positive, before a significance rating for these impacts is then applied and the duration and cumulative nature of the impact is applied.

Quality of Impacts positive, negative, or neutral	Positive Impacts A change which improves the quality of the environment
	Neutral Impacts No impacts or impacts that are imperceptible, within normal bounds of variation or within the margin of forecasting error
	Negative/Adverse Impacts A change which reduces the quality of the environment
Describing the Significance of Impacts	Imperceptible An impact capable of measurement but without significant consequences.
	Not Significant An impact which causes noticeable changes in the character of the environment but without significant consequences
	Slight Impacts An impact which causes noticeable changes in the character of the environment without affecting its sensitivities.
	Moderate Impacts An impact that alters the character of the environment in a manner that is consistent with existing and emerging baseline trends.
	Significant Impacts An impact which, by its character, magnitude, duration, or intensity, alters a sensitive aspect of the environment
	Very Significant An impact which, by its character, magnitude, duration or intensity, significantly alters most of a sensitive aspect of the environment.

	Profound Impacts An impact which obliterates sensitive characteristics
Describing the Extent and Context of Impacts Context can affect the perception of significance. It is important to establish if the impact is unique or, perhaps, commonly or increasingly experienced.	Extent Describe the size of the area, the number of sites and the proportion of a population affected by an impact.
	Context Describe whether the extent, duration or frequency will conform or contrast with established (baseline) conditions (is it the biggest, longest impact ever?)
Describing the Probability of Impacts Descriptions of impacts should establish how likely it is that the predicted impacts will occur so that the competent Authority (CA) can take a view of the balance of risk over advantage when making a decision.	Momentary Impacts Impacts lasting from seconds to minutes
	Brief Impacts Impacts lasting less than a day.
	Temporary Impacts Impacts lasting less than a year.
	Short-term Impacts Impacts lasting one to seven years.
	Medium-term Impacts Impacts lasting seven to fifteen years.
	Long-term Impacts Impacts lasting fifteen to sixty years.
	Permanent Impacts Impacts lasting over sixty years.
	Reversible Impacts Impacts that can be undone, for example through remediation or restoration.
	Frequency of Impacts Describe how often the impact will occur (once, rarely, occasionally, frequently, constantly – or hourly, daily, weekly, monthly, annually).
Describing the Types of Impacts	Indirect Impacts Impacts on the environment, which are not a direct result of the project, often produced away from the project site or because of a complex pathway
	Cumulative Impacts The addition of many minor or insignificant impacts, including impacts of other projects, to create larger, more significant impacts.
	‘Do-nothing Impacts’ The environment as it would be in the future should the subject project not be carried out.
	‘Worst-case’ Impacts The impacts arising from a project in the case where mitigation measures substantially fail.
	Indeterminable Impacts When the full consequences of a change in the environment cannot be described.

	Irreversible Impacts When the character, distinctiveness, diversity, or reproductive capacity of an environment is permanently lost.
	Residual Impacts The degree of environmental change that will occur after the proposed mitigation measures have taken impact.
	Synergistic Impacts Where the resultant impact is of greater significance than the sum of its constituents

6.2 Application of impacts

Architectural heritage structure:	Significance/ Protection Status:	Quality of impact:	Description of significance :	Extent and Context :	Probability and Duration of impact:
External envelope, Dan Breen House	Protected Structure on RPS (RPS Ref 118)	Positive impact	Imperceptible	Positive, permanent	Reversible, long-term
Interior, Dan Breen House	Protected Structure on RPS (RPS Ref 118)	Positive impact	Slight	Positive, permanent	Reversible, long-term
Boundary Walls,	Protected Structure on RPS (RPS Ref 118)	Positive impact	Imperceptible	Positive, permanent	Reversible, long term
Two outbuildings /mews	Protected Structure on RPS (RPS Ref 118)	Positive impact	Significant	Positive, permanent	Reversible, long term
New Development Dan Breen House site;	Located within curtilage of protected structure	Imperceptible impact	Slight	Localised, physical affect, minor visual affect	Irreversible

The localised physical impacts resulting from the construction of the new development adjoining the Dan Breen House are a minor physical alteration and this new development will also alter the visual aspect of the site. However, these minor impacts are facilitating the conservation gain in that they are revitalising and reactivating a currently unused protected structure. Moreover, this acts as a regional development gain, enabling the conservation of the protected structures for a positive educational public use. The slight impact of the internal alterations will involve the retention of the majority of historic fabric in balance with a sustainable, flexible, and usable function for the buildings.

7. Conclusion

The former rectory, now Dan Breen House, outbuildings and boundary walls are located in a prominent position at the north side of the town centre of the historic town of Tipperary. Dan Breen House, outbuilding and boundary walls are protected structures all falling within the protection applied to Dan Breen House (RPS 118).

Notwithstanding their currently vacant state, Dan Breen House, its outbuildings, and the boundary walls contribute positively to the streetscape and their conservation in this scheme will positively enhance the character and significance of the buildings and their contribution to the landscape and the wider heritage landscape of the town. Best practice conservation standards recognise that the best way to conserve a building is to find a sustainable new use for it and this proposal will achieve that goal.

The proposed new development and design language of the new development at Dan Breen House has been carefully designed with due regard to the special character of the area and its setting and in accordance with the policy recommendations set out in this report with regard to retaining the significance of the location. The basis of this policy is formed by high standards of design and the use of good quality materials where the heritage urban landscape context resonates in a simple design that references its location in a contemporary way. Moreover, the spatial arrangement of the site provides the opportunity for tension and release, for density in balance with greenspace, the latter ensuring that the new elements do not dominate the special character of the ACA setting.

8. Bibliography

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Appendix 1 Photographic Survey

In the interests of legibility, the buildings have been divided into:

- A1.1: Dan Breen House Internal and External
- A1.2: Outbuildings Internal and External
- A1.3: Boundary wall and site
- A1.4: Existing modern former library buildings

A1.1: Dan Breen House Internal and External Internal

	
<p>Main basement room. Ledged door, Wyatt window (Room 2)</p>	<p>Wyatt window in north facing elevation of main basement room (Room 2)</p>
	
<p>Room 4. Storage room off main basement room.</p>	<p>Lower-level existing boiler room (Room 5). Lift pit to this room.</p>



Ground floor (Room 7) Original fireplace, Cornice, ceiling rose, skirting, architrave, panelled door, window surround and box.



Original marble fireplace Room 7 ground floor.



West facing view (Room 8) panelled window surround, skirting, cornice, Panelled door.



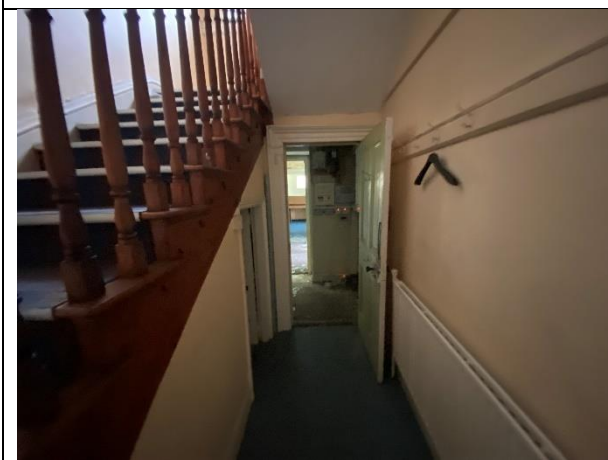
Room 9, ground floor, proposed area for installation of lift. New partition proposed and removal of skirting and alteration to floor



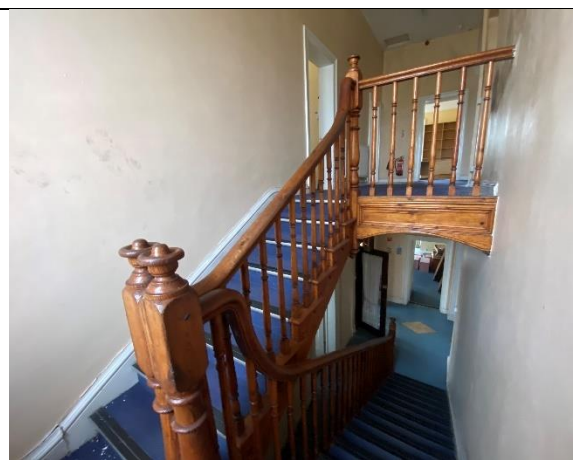
View towards front entrance (east elevation)



View west into main lobby.



Connecting door to existing modern library building. Architrave, and panelled door suggest it was an original side entrance to house.



Half landing main staircase. Original cut string staircase.



Tripartite timber sliding sash window to half landing between ground and first floor.



Ground floor (Room 10) facing west elevation (Rear). Original fireplace and panelled window surround. No cornice.



Room 11 (Ground floor). Panelled door.



Room 19 (SW corner room)



Room 24. NE corner of building. Window surrounds and shutters, skirting. Panelled door.



Room 21 (First floor) original cast iron fireplace, skirting panelled door, skirting.



Example of surviving lime parging on internal pitch of roof.



Detail of collar tied roof construction

External

East facing front elevation. Note aluminium windows and access ramp.



Side (South facing) Elevation.



Destabilized bay window to south elevation. Note cracking to joint.



Side (north) facing elevation with join of existing modern library building and Dan Breen House. Note blind window.



Side (north) facing elevation. Note wyatt window and double pitched roof and chimneys.



Rear (west) facing elevation. Note lean to and dividing (likely later) wall.

Cast Iron rainwater downpipes with aluminium gutters.	
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Outbuildings



Larger outbuilding to rear of Dan Breen House. Note chimneys at each gable.



Interior (Room 8) 1st floor of larger outbuilding.



Detail of floor construction to first floor larger outbuilding.



Surviving original stable stall subdivision room 3 ground floor large outbuilding.



Front elevation smaller outbuilding. Note surviving six over six timber sliding sashes. New roof required.



North facing image showing connection between outbuildings.

Example of interior of smaller outbuilding.



Original steps from higher level of large outbuilding to lower area of smaller outbuilding.

Boundary walls and existing library building



Modern bathroom block to north of site.



Modern existing library building to north side of Dan Breen House



Section of boundary wall at N/NW side of site running down Tipperary Road. Slight batter to base.



Interior of modern library.



Likely rebuilt section of east boundary wall facing Murgasty road roundabout.



Interior side of original masonry wall along east boundary running down Davis Street.

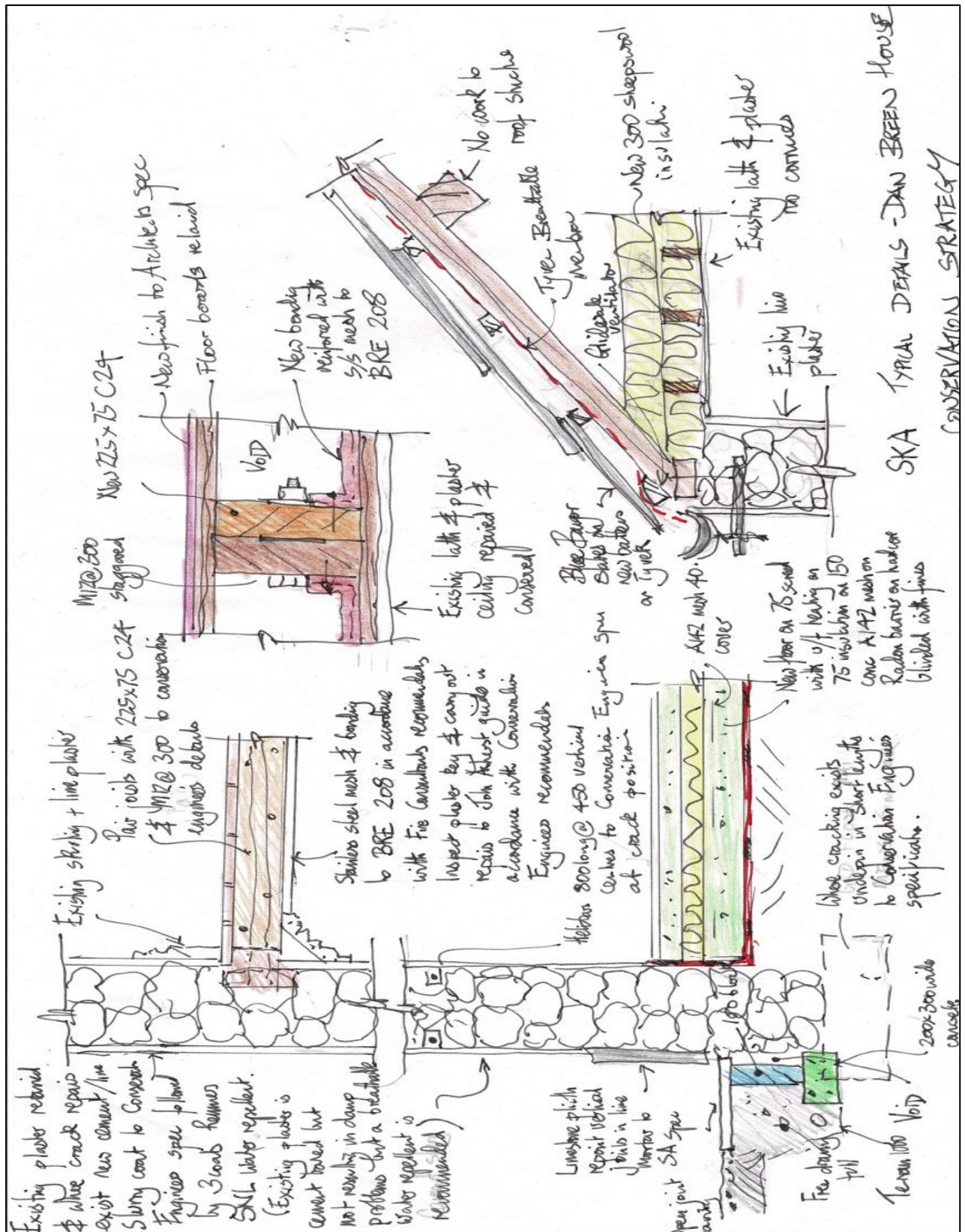


Ground to front of Dan Breen House.

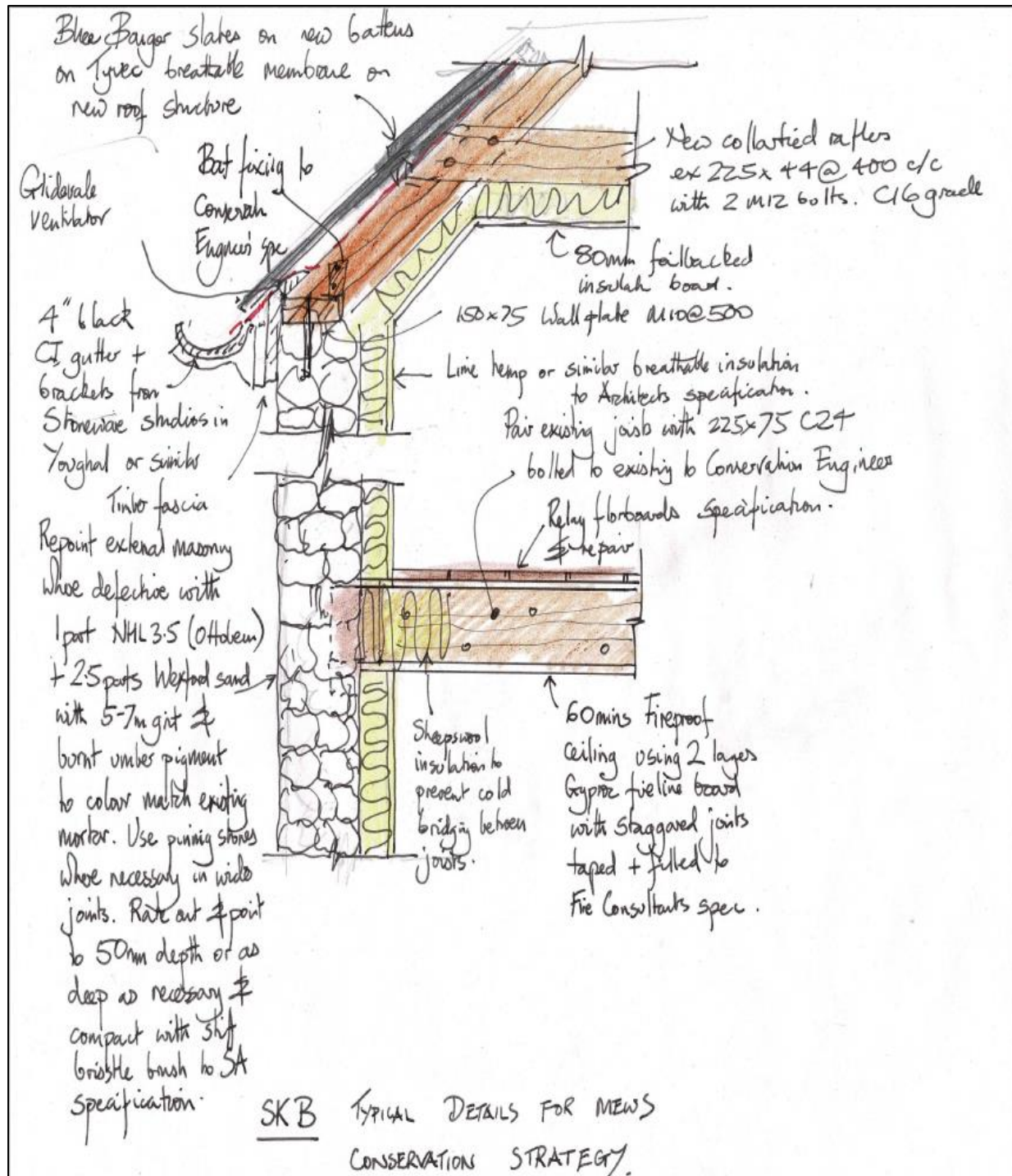


Grounds to front of Dan Breen House.

Appendix 2 Conservation Strategy Sketches



SKA Conservation Strategy for Dan Breen House (Southgate Associates 23-11-22)

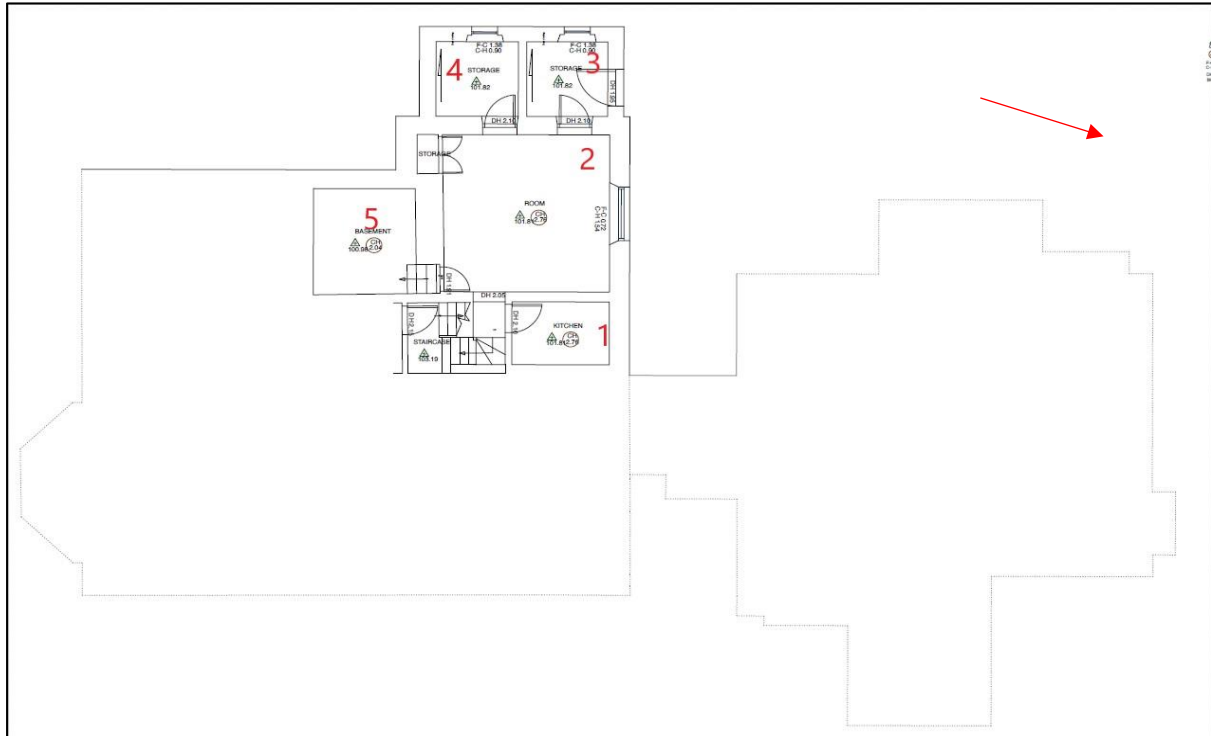


SKB Conservation Strategy to Outbuildings (Southgate Associates 23-11-22)

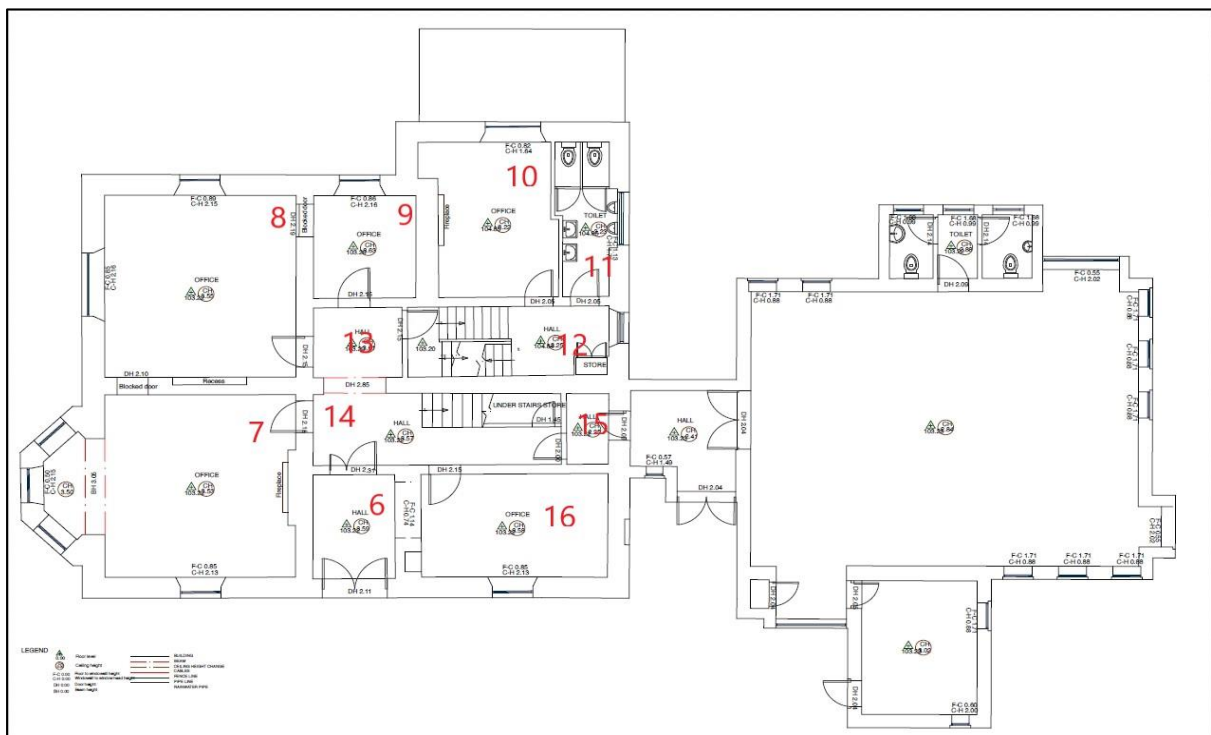
Appendix 3: Detailed conservation Strategy and Recommendations

Dan Breen House Strategy and recommendations

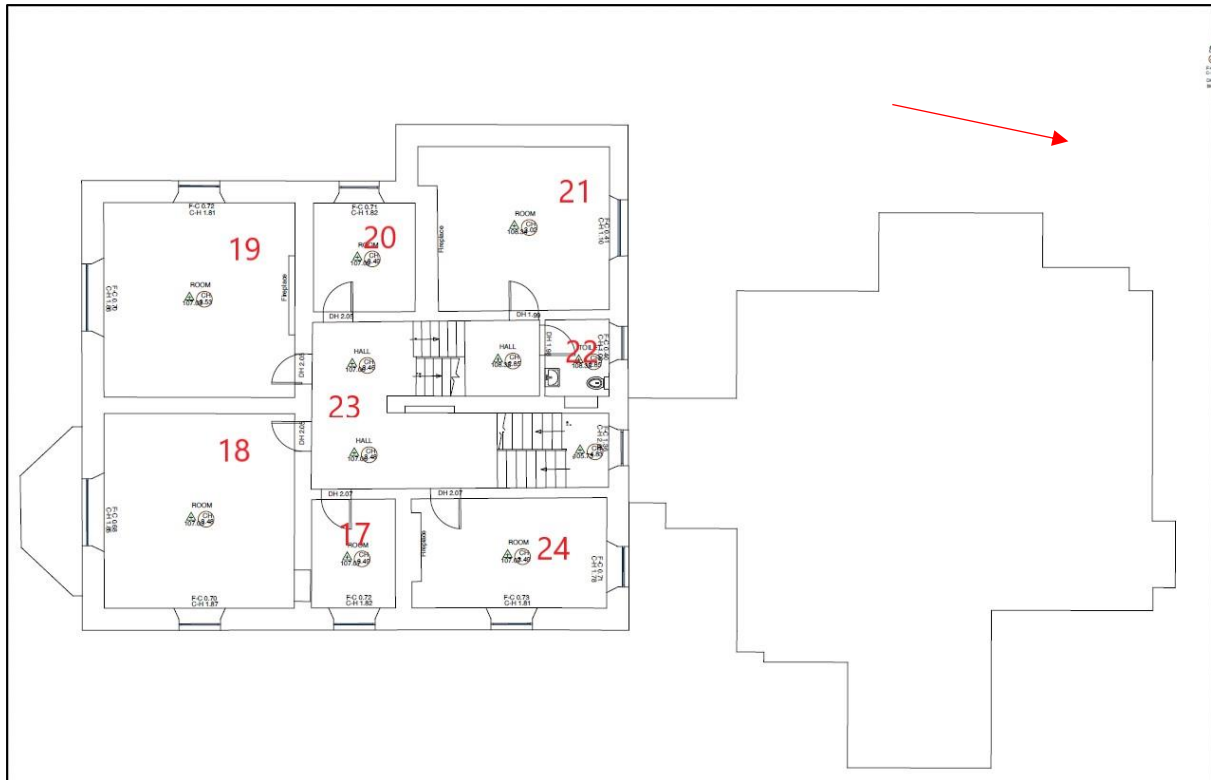
Internal:



Existing Basement level with room reference numbers noted. Note room 5 is at a lower level than the main basement level. Note arrow denotes north. (Drawing Robin Lee Architecture)



Existing ground floor level Dan Breen House. Note arrow denotes north. (Drawing Robin Lee Architecture)



Existing first floor Dan Breen House. Note room 21 and 22 are at a higher level than the rest of the floor as accessed by a short staircase from first floor landing level. Note arrow denotes north (Drawing Robin Lee Architecture)

Note: The information on proposed alteration / interventions is based on information available to Southgate Associates at the time of production of this report and may be altered later in the design and construction process.

Internal Strategy and recommendations

See Appendix 2 SKA for technical detail

Walls

- Lime plaster all wall surfaces which require repair with an NHL 3.5 insulating lime plaster to plain coat finish, carried out by an experienced plasterer.
- Retain and conserve plaster cornices in all areas except in rooms 20, 9 where a level of intervention is anticipated to facilitate installation of a through and through left from ground to first floor. A policy of minimum intervention should be followed when installing the lift.

Ceilings

- On the ground floor due to the existing ceiling roses the ceiling should be generally retained as they are with cornicing to be retained and conserved in situ by a conservation plasterer. The existing ceiling roses should be retained and conserved in situ.

-Ceilings in lath and plaster to be treated to BRE208 see Appendix 2 SKA for technical detail. Joists to be paired with 225 x 75 c24 and m12 bolts @ 300 centres to conservation engineer's detail.

-A fire resistant upgrade should be given to lath and plaster ceilings on the first floor. See Fire considerations section below and SKA Appendix 2

Floors

-Timber suspended floors: While the joists have not been inspected by Southgate Associates for this report it is considered that a programme of structural joist strengthening should be undertaken to facilitate additional loading which may be anticipated in line with the proposed educational usage of the building. This should be detailed to the Conservation Engineer's specification See also SKA Appendix 2 for technical detail.

-Concrete floors: Concrete floors to basement and main area of house should be replaced with new concrete floor with underfloor heating mats inclusion, floor should be on a level of radon barrier due to high radon levels in geographic area with inclusion for radon sumps on hardcore blinded with fines to Conservation Engineers detail, See SKA Appendix 2.

Joinery

-Skirting: Survives in all first and ground floors area and should be retained in situ and conserved by a conservation joiner to conservation best practice on a like for like basis. In the case of room 9 and 20 where the installation of the lift forms an intervention zone, a policy of minimum intervention to historic joinery should be employed with historic elements which require removal should be salvaged for use elsewhere in the building.

-Window boxes, shutters, and surround: Windows boxes and surrounds survive to all main elevation windows. These should be conserved to conservation best practice on a like for like basis by a conservation joiner. In line with a programme of installation of appropriate timber sliding sashes to replace the inappropriate aluminium windows to south and north elevations the sash boxes, cords and weights should be conserved and brought back into usage by a conservation joiner. Consideration should be given to applying insulation between the window boxes and shutters as well as a dpc to the external areas of the windows while carrying out conservation works.

-Architraves: Moulded architraves survive to all doors on the first and ground floors and these should be retained in situ with repairs, if required, carried out to conservation best practice on a like for like basis by the joiner.

-Panelled doors: Panelled doors survive to all ground and first floor rooms apart from bathrooms. Panelled doors should be removed for salvage or for reuse in areas with no firestopping requirements. In other areas panelled doors should be replaced on a like for like basis with a new panelled door which has firestopping elements included too fire consultant detail.

Fireplaces:

-Original fireplaces survive on the ground and first floor. These will no longer be required to be firing but should be retained and conserved and a detail for blocking, along with suitable airflow ventilation provided by the Conservation Engineer. Consideration could be given to an autonomous humidity detecting self-opening vent.

Roof Structure

-The building retains its original roof; the general timber roof structure is a collar tied truss construction.

-The roof was originally lime parged and areas of this lime parging survive and should be retied and unaltered.

-Roof to be reslated on new battens, copper nails and Tyvek felt. See SKA App 2

-Tyvek breathable felt to be added to roof structure with Glidvale ventilation,

-300mm of sheep wool insulation should be added to the top of the ceiling level in the attics

Heating

-A heat pump heating system should be installed with a plant room to hold the required heats pump to be placed in the NW area of the site in a dedicated plant area. In areas where concrete floors are being replaced underfloor heating mats should be considered linking to the heat pump system.

-A heating contractor, such as AC Heating, familiar with upgrading historic properties could be engaged to advise on heating systems suitable for Dan Breen House.

Fire Considerations

-A specialist fire consultant should be engaged to advise on a suitable fire upgrade to the building.

- Once a fire / alarm consultant has undertaken a review of the existing alarm detection and alarm systems and advised on any requirements for upgrade or maintenance, care should be taken to hide alarm system wires in non-exposed areas such as within floor spaces and attic spaces.
- All internal period doors should be salvaged and retained for reuse in areas such as bathrooms where fire stopping is not required. In all other cases a like for like new panelled door with firestopping elements included should be installed to fire consultant specification.
- In relation to lath and plaster ceilings at first floor level these should be treated as per SKA Appendix 2 to BER208 standard.

Other services, electrical/ plumbing / internet:

- A service plan based on upgrades to facilitate an educational usage in future should be provided to the conservation consultant for approval and mark up when available.
- In general, new services should be run in floor cavities below timber suspended floors and in ceiling and attics spaces to minimize visual impact on the historic fabric and interiors.
- Defunct and unused wires (both internally and externally) should be carefully removed
- In line with a heat pump upgrade it may be required to install new piping and core through certain areas of masonry, this should be based on conservation consultant approval and kept to an absolute minimum and the relevant locations carefully planned to facilitate the conservation best practice approach of minimum intervention.
- Where possible the position of existing bathrooms and plumbing should be kept and reused for the same use to remove the need for new plumbing elsewhere.

External



Existing external elevations of Dan Breen House (Tipperary Coco drawing)

External Strategy and recommendations

Render:

-Sand and cement render appears in reasonable condition, where minor cracking is present, (notably above centre window front elevation) these cracks should be repaired using one of two approach to conservation engineers' specification.

a) Using a fine mason's mortar mix in lime, carefully colour matched to the existing render, syringe point larger cracks as required.

b) In hairline cracking case, rub slurry mason mortar mix over the crack and its immediate area, removing access, and once a prescribed amount of time has been passed to allow mix to partially set, rub down with hessian to further remove any excess material. It is pivotal the mix is carefully colour matched to existing render.

-Render can be treated with x 3coats Remmers SNL water repellent. See SKA Appendix 2.

Limestone steps:

-The concrete access ramp can be removed as wheelchair access will be available through the new build section. The limestone steps should be carefully cleaned by a specialist historic masonry contractor such as Gebel and Helling / Aherns Masonry.

Limestone Plinth:

- The limestone plinths should be carefully cleaned by a specialist historic masonry contractor.
- Where required the joints of the plinth should be carefully repointed with an NHL 3.5 Lime mortar carefully colour matched to match the existing mortar.

Chimneys:

- Note: Chimneys were only viewed from the ground and should be assessed once scaffolding access is available, however as the chimneys are no longer required to be functional, they should be capped to prevent bird or moisture access with a suitable air flow venting system applied.
- Any capping or similar should be unobtrusive and not affect the visual aspect of the chimneys,
- Once access is available the chimney flaunching and lead flashing inspected and a detail for their repair provided by the conservation consultant as required.

External roof structure:

- Note: Roof pitches were inspected from the ground only, however once scaffolding access is available further investigation should be undertaken. Roof to be reslated on new battens on Tyvek felt.
- Again, based on further investigation, a lead valley flashing in code 5 lead should be undertaken to conservation consultant detail.

Rainwater goods:

- Existing cast iron downpipes appear in reasonable condition and should be retained and conserved. Where sections are found to be beyond repair these should be replaced on a like for like basis.
- Cracking or minor holes should be sealed using a Sikaflex 11FC mastic applied carefully to relevant areas and excess material removed.
- Goods should be repainted as follows: Depending on the extent of corrosion, it may be possible to 'spot' paint areas (using a compatible paint) by feathering the edges of the existing paint with sandpaper and then painting over the exposed metal. Where the existing paint is in poor condition, it may be necessary to remove it entirely before repainting. If complete repainting is required, the ironwork should be micro-blasted then etch-primed with Sealoflex and joints should be resealed with Sikaflex 11FC. Current best practice recommends two coats of a zinc-based primer and one coat of micaceous iron oxide (MIO), such as Dulux Ferreko No. 5, followed by two coats of gloss paint. Slightly different colours may be used for each undercoat to help distinguish one coat from another.
- Consideration should be given to replacing aluminium gutters with a cast iron gutter alternatively existing aluminium gutters should be repaired as above strategy for CI downpipes.

Land drainage:

- Land drainage should be applied around the footing of Dan Breen House.
- A trench should be excavated to 400 below internal floor level to 500 width and 6inch corrugated pipe applied this should be covered in 303 pea gravel and topped with a limestone flag.
- A 300 x 200 concrete footing should be applied with a void left between this and the face of the building with land drainage on the external side of the footing
- See SKA App 2 for detail.

Underpinning in area of bay window:

- The south facing bay window has destabilised and requires underpinning to consolidate.
- The land drainage approach mentioned above can be utilised with the 300 x 300 concrete footing applied to the base of the protruding bay window section.
- The cracked render in larger cases on either side of the bay window should be grouted using a coulinex NHL 3.5 grout and the surface pointed in NHL 3.5 carefully colour matched to match the existing render.
- See SKA App 2

Windows:

- Currently the south and east (front) elevations have inappropriate modern aluminium windows these should be replaced with new historically appropriate timber sliding sashes informed by the existing original windows to the rear and north elevation.
- New windows should be cord hung timber sliding sashes with slimline double glazing and reddiseals.
- Front elevation to have two over two sliding sashes, south elevation to have wyatt windows to wider opes and two over two sliding sashes to smaller ones and bay window.
- North elevation and rear elevation to have the same configuration.
- In cases where original windows survive these should be carefully conserved and retained. Repairs should be carried out by a conservation joiner to conservation best practice.
- Slimline double glazing and reddiseals should be applied to all suitable windows.

Services:

-As mentioned in Dan Breen House section above, a service plan should be provided to the conservation consultant but generally services should be hidden in floor and attic cavities to facilitate retention of historic interior character.

Joinery:

-Internal stable partition in larger outbuilding should be retained in situ and conserved as required on a like for like basis by a conservation joiner. It may be considered in discussion with the conservation consultant that this could be moved elsewhere in the building to facilitate the practical adaption of the interior.

-Ledged doors surviving in the interior of both buildings, in poor condition in the smaller building and in good condition in the larger. In the larger building the doors may be considered to be reused internally to retain the historic fabric.

Walls:

-Currently masonry, lime hemp plaster on 80mm foil backed insulation board to architects spec.

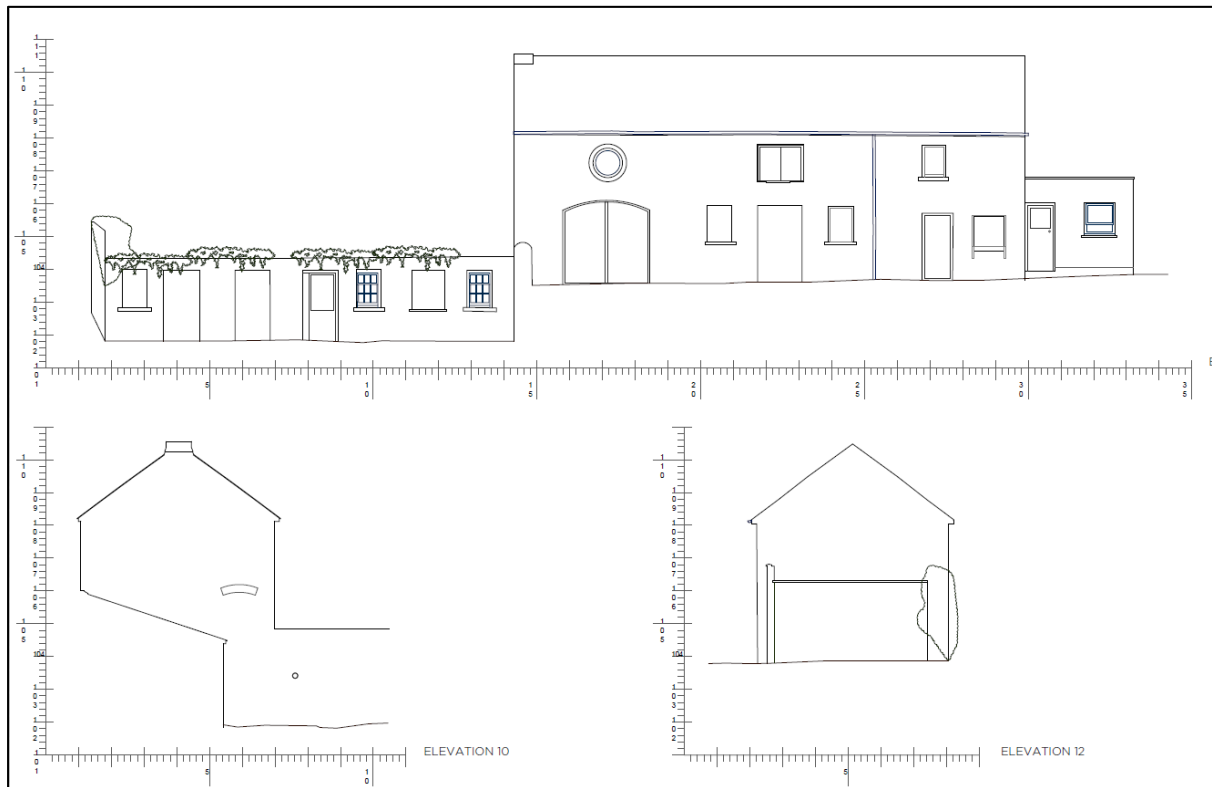
Ceiling /insulation:

-The internal pitch of the roof structure should be insulated with 80mm foil back ed insulation board

Fire considerations:

-60mins fireproof ceiling using 2 layers Gyproc fiveline board with staggered joints taped and filled to fire consultants spec.

External



Existing external elevations of the outbuildings to the rear of Dan Breen House (Tipperary County Council)

External Strategy and recommendations

(For technical detail SEE Appendix 2 SKB)

Roof structures:

- The larger building roof requires a new roof structure blue bangor slates reclaimed and reuse don new battens tied with copper nails on Tyvek felt with bat straps.
- New collar tied roof rafters 225 x 44 @400 c/c with 2 m12 bolts C16grade
- Existing slate should be carefully stripped and reused on the building tied with copper nails on new battens.
- Include Glidevale ventilator.
- Shortfall in slate should be made up with reclaimed blue bangor slates.
- The smaller outbuilding requires a full new roof to Conservation Engineers detail. Collapsed roof slates should be salvaged and reused tied with copper nails and shortfall made up with like for like blue bangor's.

Masonry:

- The masonry on both structures is in reasonable condition, but minor areas will require pointing.
- This should be carried out with an NHL 3.5 lime mortar colour matched to existing mortar.
- Both brick chimneys on the larger building will require rebuilding in NHL 3.5 Lime mortar and any shortfall in brick being made up with a reclaimed red brick on a like for like basis.

Doors:

- Carriage doors survive to the main door of the large building, these could be conserved and retained but fixed open using parliament hinges with a glazing detail provided to weather ope, not only does this facilitate the retention of the doors but allows for extra light into the ground floor of the building.
- A ledged door survives on the ground floor of the larger outbuilding and consideration should be given to retaining this in a non-fire stopping requiring area.
- Doors to the smaller outbuilding are in poor condition and should be replaced on a like for like basis with reddiseals and draught excluders added to a new door.

Windows:

- Two six over six sliding sashes survive on the smaller outbuilding. These should be retained and conserved by a conservation joiner with reddiseals, and slimline double glazing added. New six over six sliding sashes to match existing should be made for the open opes in the smaller building.
- In the larger building two over two timber sliding sashes should be made to match main house surviving examples with larger ope on top floor to be sliding sash wyatt window. Round (currently louvered) window to be timber four pane fixed pane window.

Boundary Walls and Landscaping Strategy and Recommendations:**Boundary Walls:**

- Good condition section surviving to high level along North and Northwest boundary of the site and extending southwards down Tipperary Road to be conserved and repointed in areas of defective mortar in an NHL 3.5 Lime mortar (To a similar specification as Appendix 2 SKB).
- Consideration should be given to applying a domed lime mortar capping to the to the length of this wall section.
- The existing section to the east of the site face appears to have been heavily altered and broken through in modern times to facilitate entrances to the Dan Breen House site and possibly rebuilt at some point in coursed limestone masonry. The wall section extending southwards down Davis Street

appears to be original uncoursed rubble limestone masonry. Again, this should be repointed in areas of defective masonry and consideration given to a domed lime mortar capping.

Landscaping:

- Poor quality tarmac car park to be removed. Smaller car parking with sandstone surface to be provided.
- Remove hard landscaping such as solid masonry planters etc replace with natural edgeless planting areas with herbaceous plants
- Planting of native Irish trees
- Curving foot paths with hidden kerbs and sandstone gravel in landscape.
- Sightlines maintained and focused on Dan Breen House protected structure.

Landscaping detail should be provided to heritage/conservation consultant and noted on architect's drawings prior to commencement of the development.

Proposed new Development strategy and recommendations

- New build section to be designed in context, with reference to the special character of the setting, in an area that would benefit from revitalisation.
- Massing and height of new build to be kept to a minimum to retain the dominance of the protected structure.
- Existing adjoining opes and entrances which link Dan Breen House to new build to be retained and where new ope required, it is to be kept to a minimum in order to maximum retention of historic fabric.
- Colour schemes for materials in the new build development are to be neutral and muted, again to ensure visual dominance is afforded to the protected structure of Dan Breen House.
- Policies outlined in section 4 and 5 of this report to be followed.

